

Frederick County Planning Commission

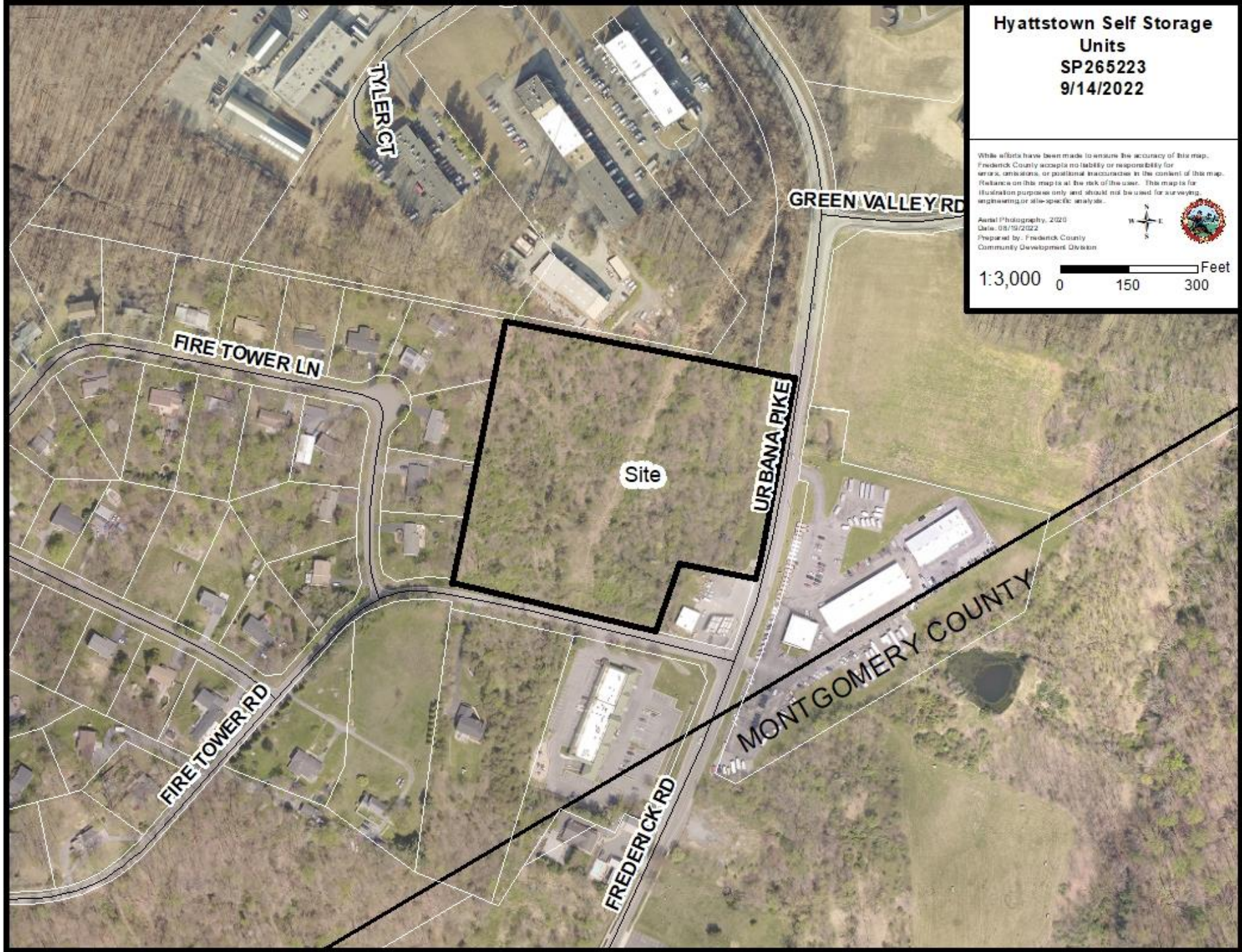


June 14, 2023

Hyattstown Self-Storage Units/Complex

Site Plan

The Applicant is requesting Site Plan approval to construct a self-storage unit facility on an 8.02-acre property.



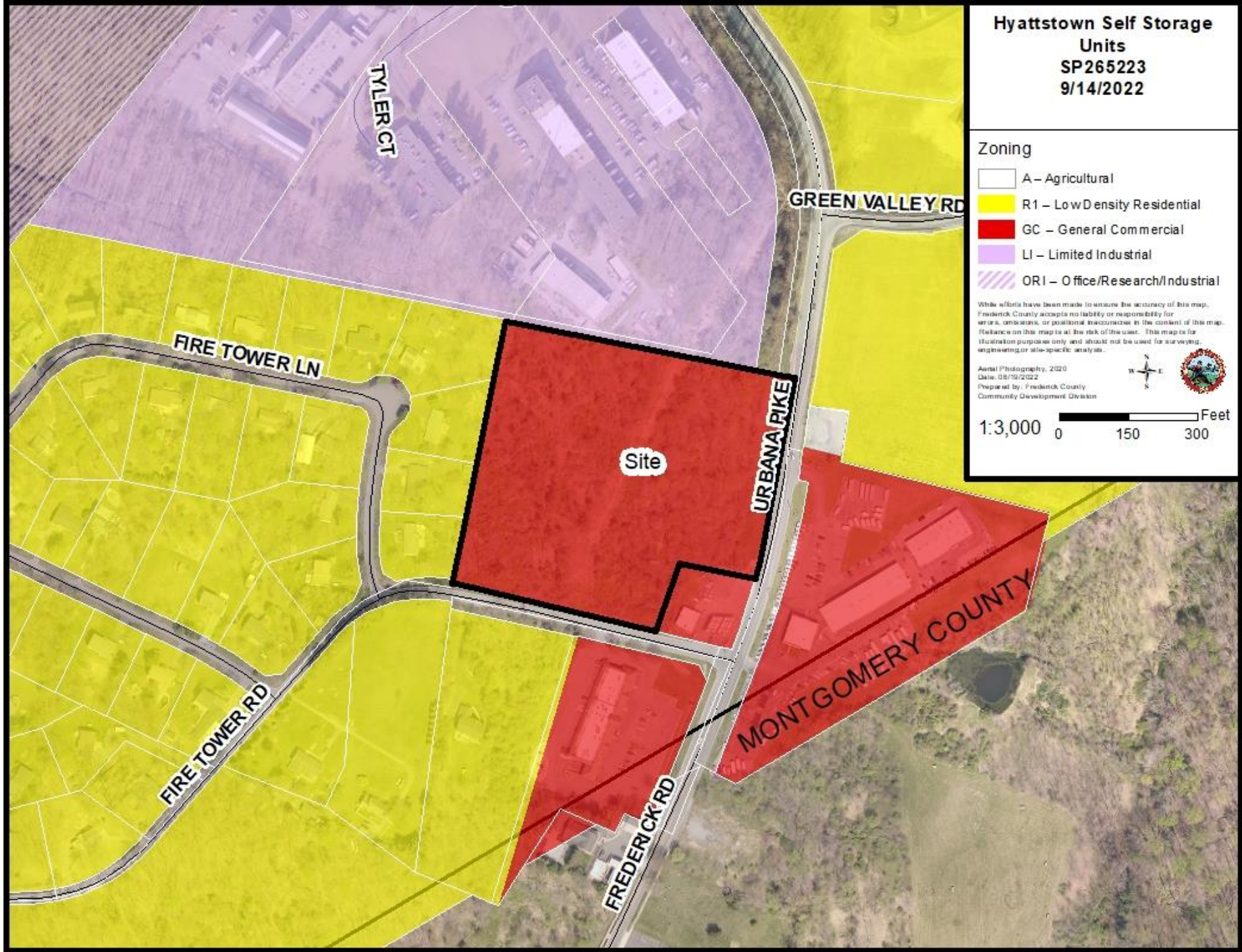
**Hyattstown Self Storage
Units
SP265223
9/14/2022**

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Aerial Photography, 2020
Date: 08/09/2022
Prepared by: Frederick County
Community Development Division



1:3,000 0 150 300 Feet



**Hyattstown Self Storage
Units
SP265223
9/14/2022**

Zoning

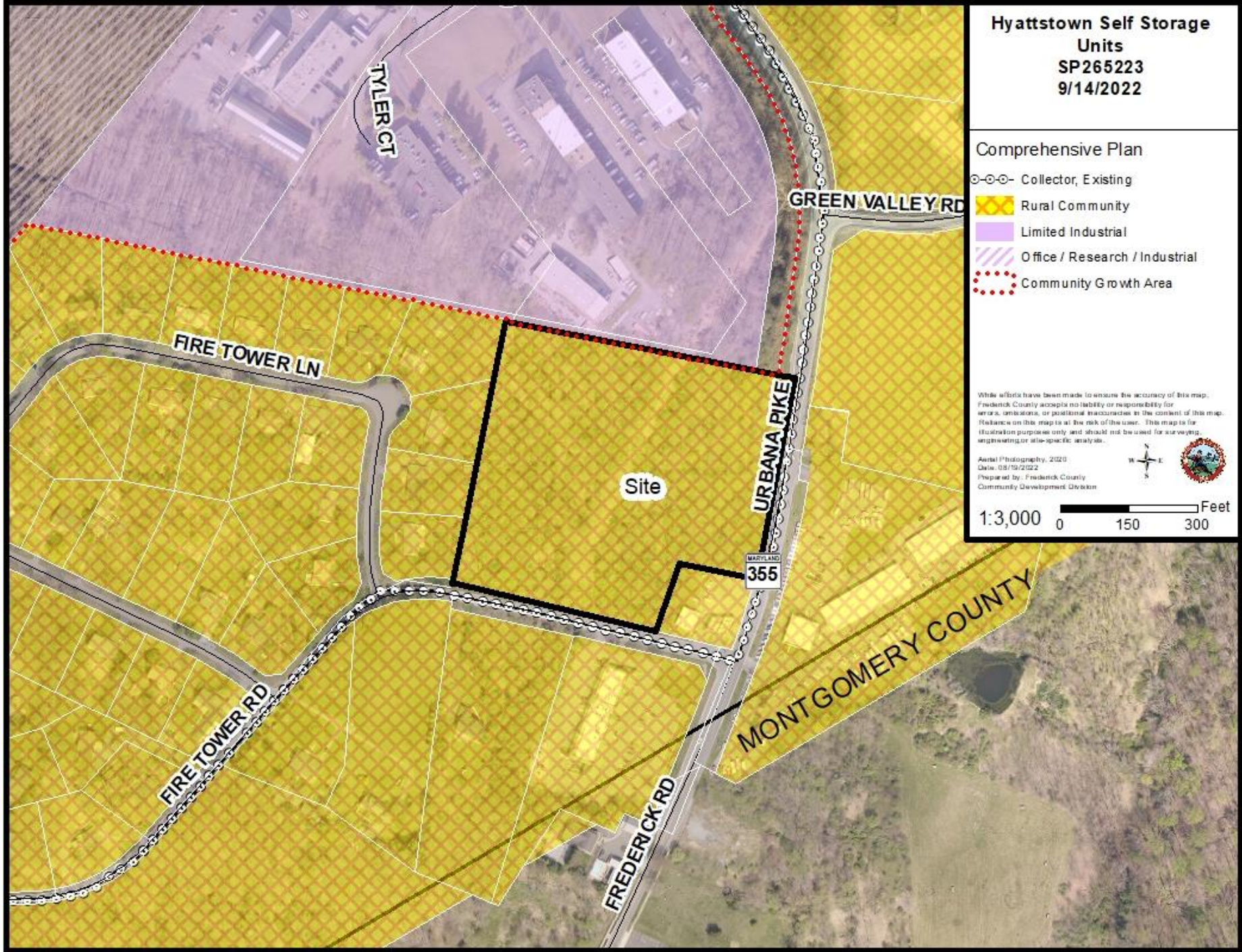
- A – Agricultural
- R1 – Low Density Residential
- GC – General Commercial
- LI – Limited Industrial
- ORI – Office/Research/Industrial

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Aerial Photography, 2020
Date: 08/19/2022
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Community Development Division



1:3,000 0 150 300 Feet



**Hyattstown Self Storage
Units**
SP265223
9/14/2022

Comprehensive Plan

- Collector, Existing
- Rural Community
- Limited Industrial
- Office / Research / Industrial
- Community Growth Area

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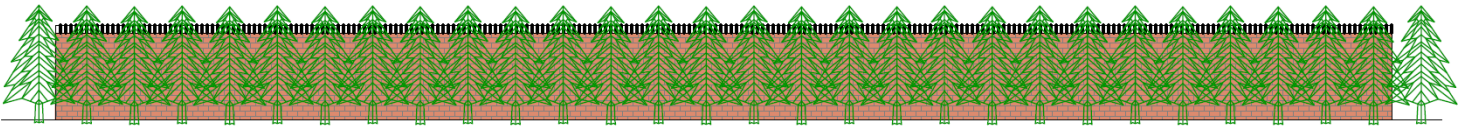


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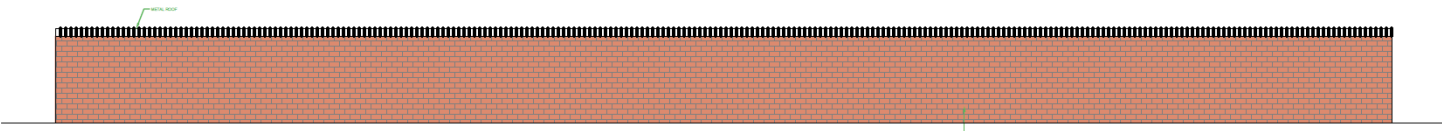


LEGEND	
EX. CONTOUR	
PROP. CONTOUR	
EX. WATER LINE	1/2" x 1/2"
PROP. WATER LINE	1/2" x 1/2"
EX. SANITARY SEWER	1/2" x 1/2"
PROP. SANITARY SEWER	1/2" x 1/2"
EX. STORM DRAIN	1/2" x 1/2"
PROP. STORM DRAIN	1/2" x 1/2"
EX. PAVEMENT (E.O.P.)	
PROP. PAVEMENT	
EX. PROPERTY LINE	
PROP. BOUNDARY LOT	
PROP. FENCE	
EX. "TIE-IN"	
PROP. SIDEWALK	
PROP. CONCRETE	
1/2" GAS LINE	
UTILITY FOR TS	
OVERHEAD ELEC. LINES	
FIRE HYDRANT	
EASEMENTS	
BUILDING RESTRICTION LINES (BRL)	

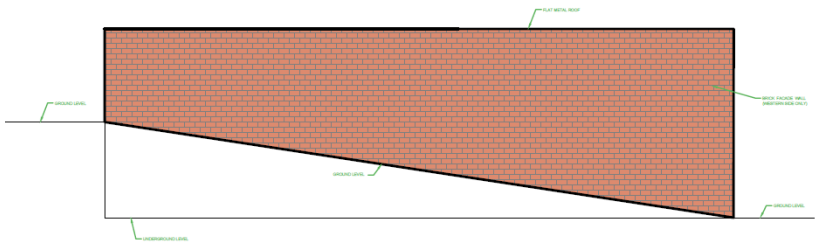
Terra Solutions Engineering, LLC		HYATTSTOWN SELF-STORAGE COMPLEX	
Commercial & Residential Land Planning and Engineering 13965 Chesapeake Road Hyattsville, MD 20785 Phone: 301.275.0442, Fax: 301.275.0443 Email: info@terra-solutions.com		Situated at No. 1920 Urbana Pike Liber 14426 Folio 472 Election District No. 7 Frederick County, Maryland	
Owner/Developer TM 106 P. 45 URBANA PIKE, LLC L 7066 P. 101		SITE PLAN RENDERING	
Contact: Mr. Jim Shaw, P.E. 13965 Chesapeake Road Hyattsville, MD 20785 Phone: 301.275.0442		NO DATE REVISION	
Scale & Signature		BY	
PROJECT No. 280		REV. FEB. 2024 & D.P. COMMENTS	
DATE: APRIL 2023		REV. FEB. 2024 & D.P. COMMENTS	
SCALE: 1" = 40'		REV. FEB. 2024 & D.P. COMMENTS	
SHEET No. 3 of 5		REV. FEB. 2024 & D.P. COMMENTS	



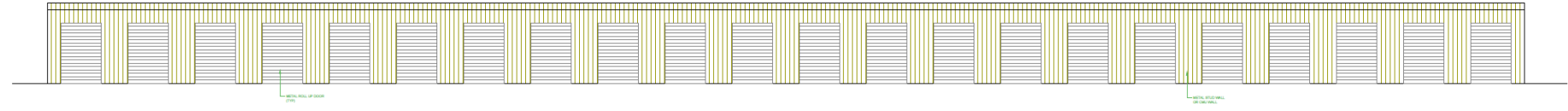
BUILDING #19 ELEVATION w/ SCREENING CONCEPT



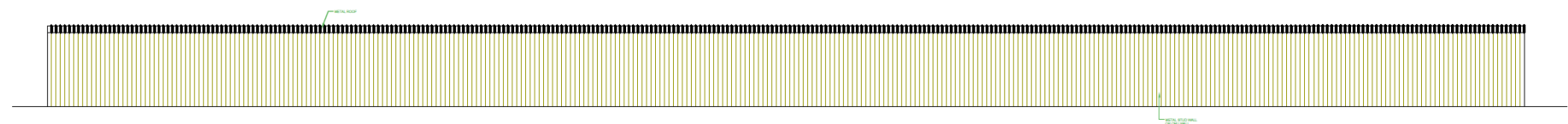
BUILDING #19 ELEVATION - LOOKING EAST



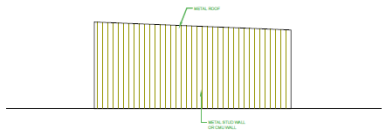
BUILDINGS #11 & 13 SIDE ELEVATION - LOOKING EAST



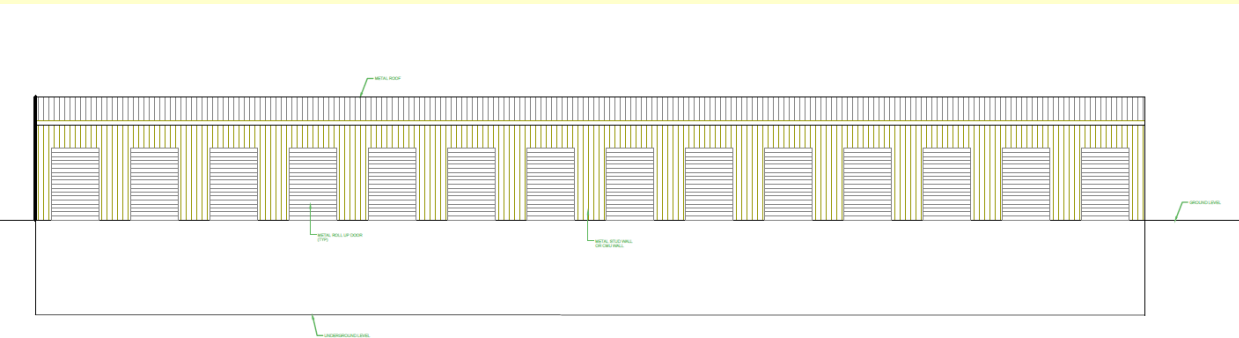
BUILDING #4 ELEVATION - LOOKING SOUTHEAST



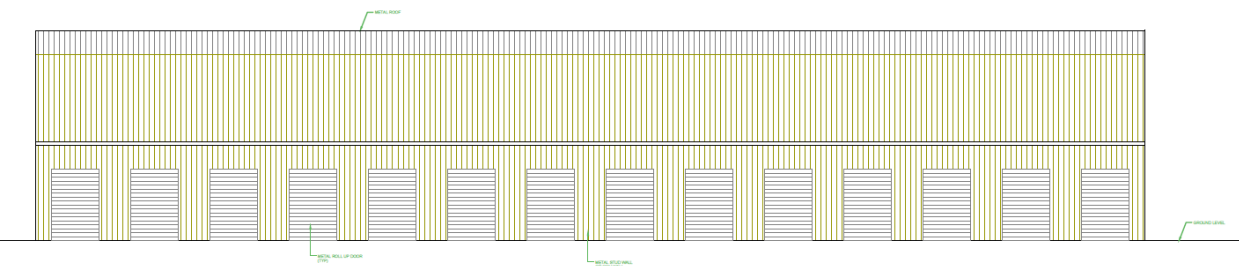
BUILDING #4 ELEVATION - LOOKING NORTHWEST
FROM MARYLAND ROUTE 355



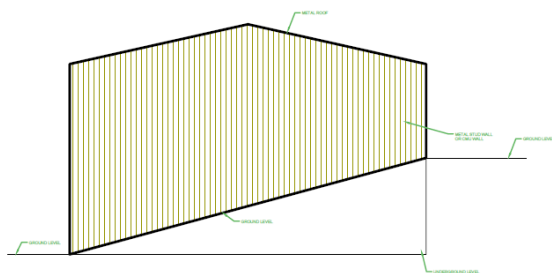
BUILDING #4 SIDE ELEVATION - LOOKING NORTHEAST



BUILDING #2 ELEVATION - LOOKING SOUTHEAST

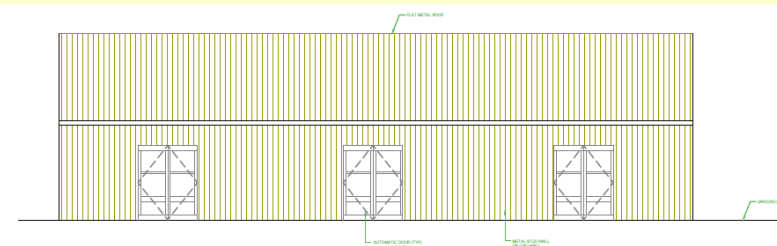


**BUILDING #2 ELEVATION - LOOKING NORTHWEST
TOWARDS MARYLAND ROUTE 355**

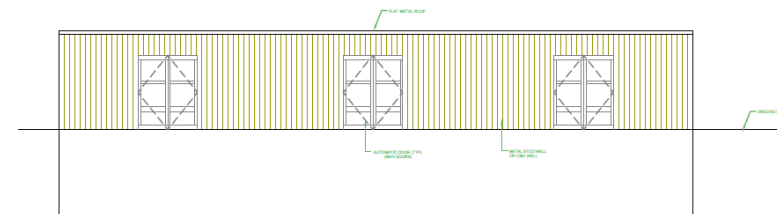


BUILDING #2 SIDE ELEVATION - LOOKING SOUTHWEST

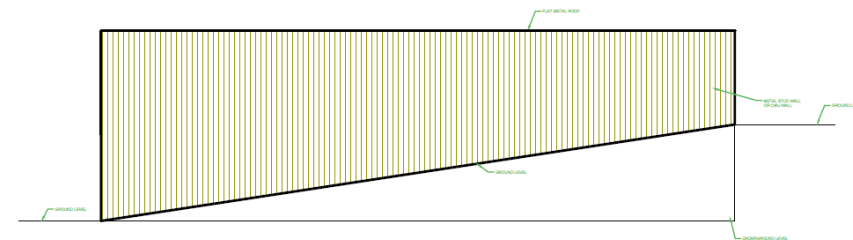
ELEVATION VIEW
SCALE: 1/16" = 1'-0"



**BUILDING #10 ELEVATION - LOOKING NORTH
ADJACENT TO FIRE TOWER ROAD**



BUILDING #10 ELEVATION - LOOKING SOUTH



BUILDINGS #10 & 12 SIDE ELEVATION - LOOKING WEST

RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan, as long as the Commission approves the modification request. If the Planning Commission conditionally approves the Site Plan, it is valid for three (3) years (until June 14, 2026).

Based upon the findings and conclusions as presented in the staff report, the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modification is granted and conditions are met:

Planning Commission approval of the following modification request from the Applicant:

1. Approval of a modification to allow for an alternate on-site location for Street Trees per Section 1-19-6.400(A)(2) of the Zoning Ordinance.

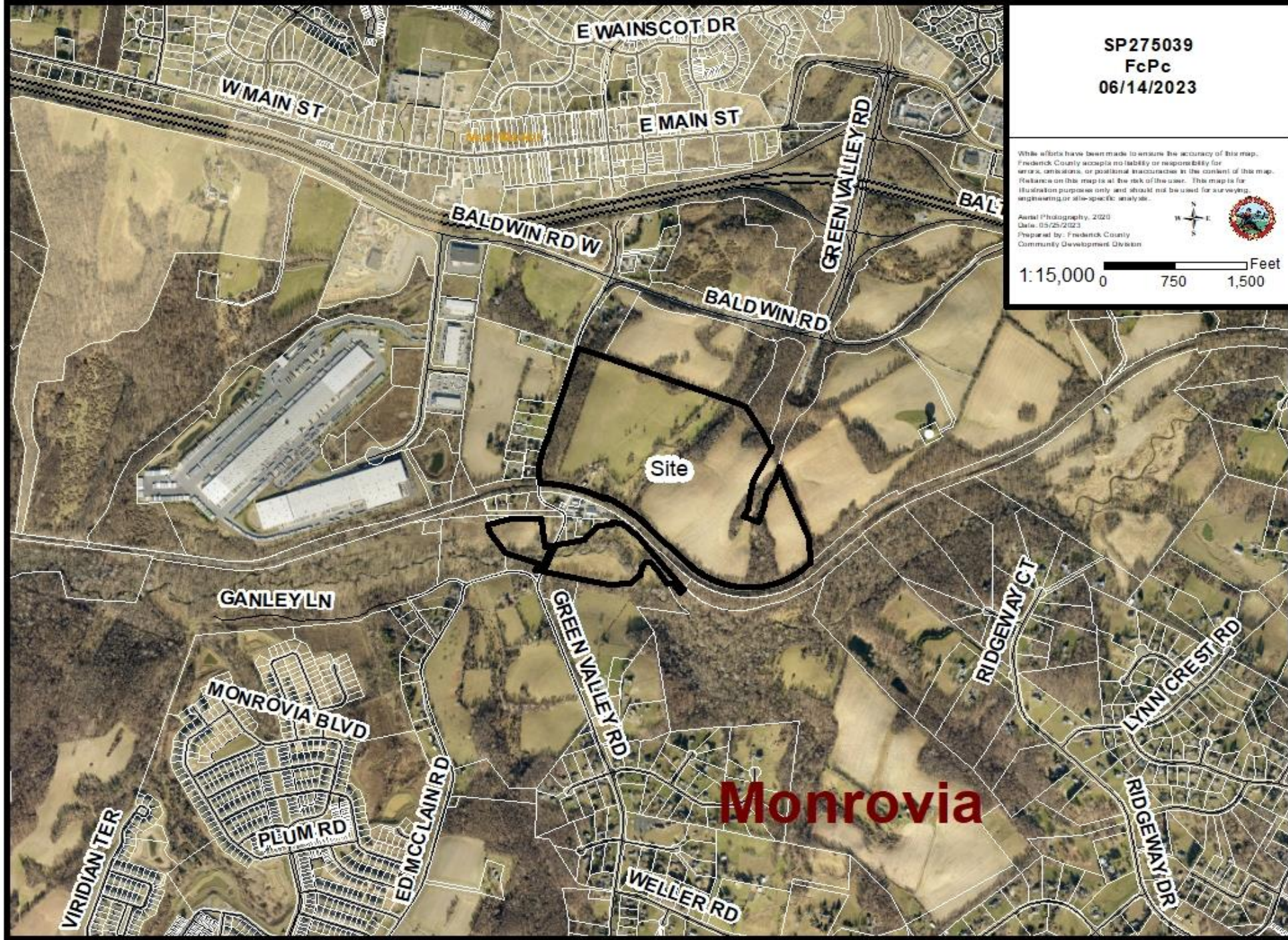
Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. The Preliminary/Final FRO plan must be approved prior to Site Plan approval. FRO mitigation must be provided prior to plat recordation, prior to applying for grading permits or building permits, whichever is applied for first.

CORE 5

Site Plan

The Applicant is requesting site plan approval to construct two buildings totaling approximately 550,000 SF of warehouse space on 125.66-acres.



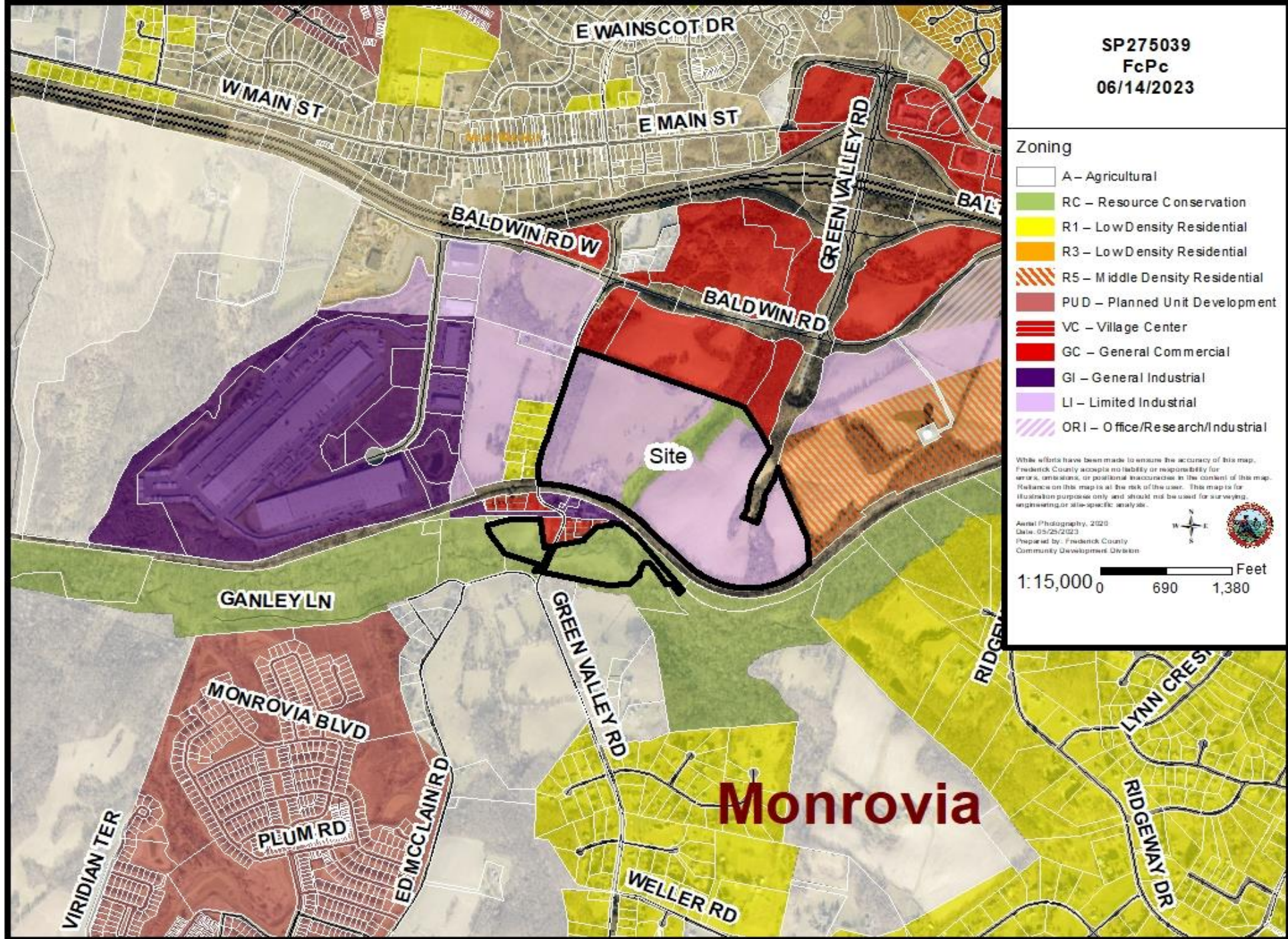
SP275039
FcPc
06/14/2023

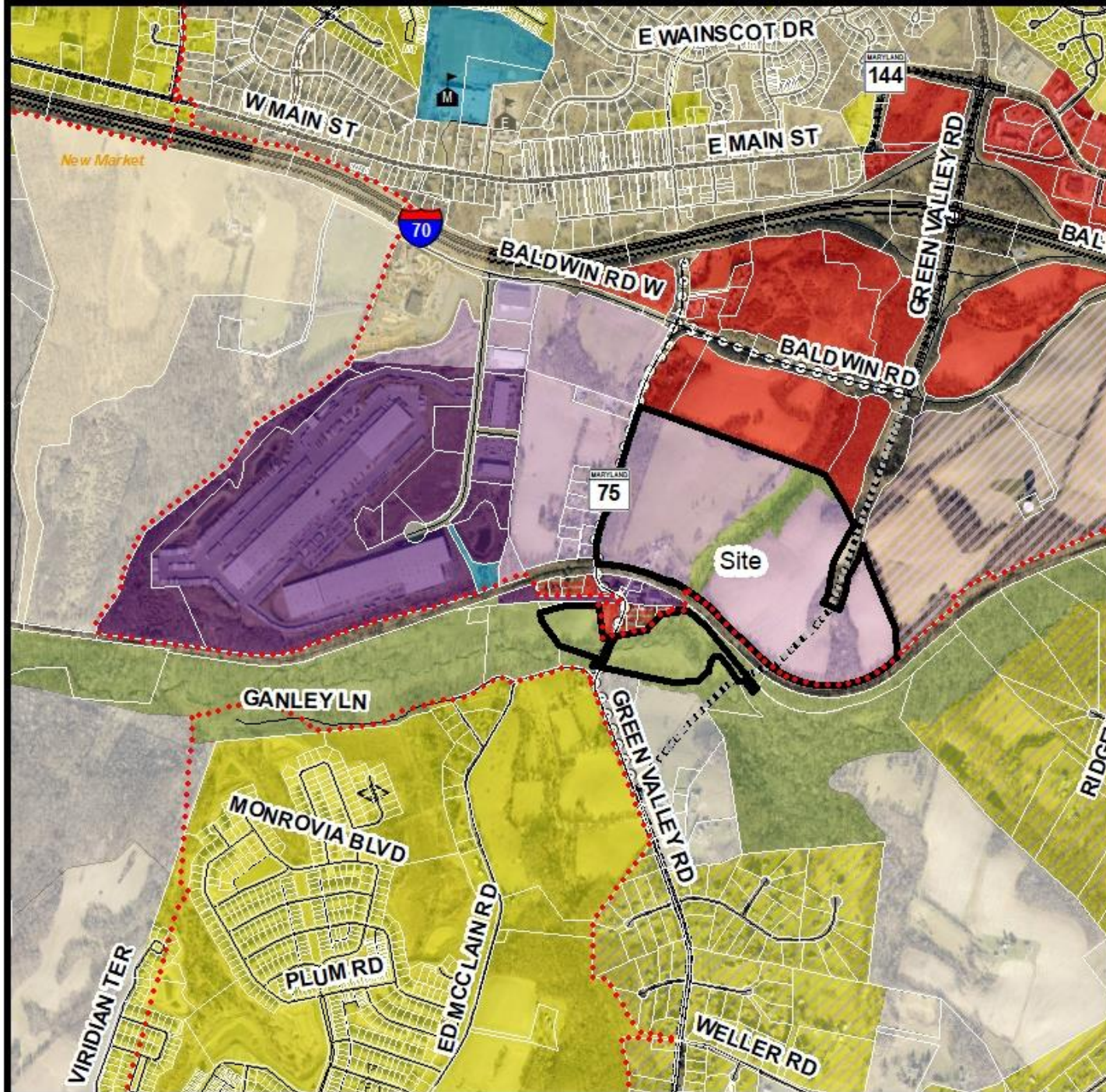
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Aerial Photography, 2020
Data: 05/25/2023
Prepared by: Frederick County
Community Development Division
























1:15,000 0 750 1,500 Feet





SP275039
FcPc
06/14/2023

Comprehensive Plan

-  Elementary School, Existing
-  Elementary School, Proposed
-  Middle School, Existing
-  Special Park, Proposed
-  Fire Station, Existing
-  Interchange, Existing
-  Free way / Expressway, Existing
-  Minor Arterial, Existing
-  Minor Arterial, Proposed
-  Collector, Existing
-  Agricultural / Rural
-  Natural Resource
-  Rural Residential
-  Low Density Residential
-  Village Center
-  General Commercial
-  Limited Industrial
-  Office / Research / Industrial
-  General Industrial
-  Institutional
-  Community Growth Area

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Community Development Division



1:15,000 0 750 1,500 Feet



PROPOSED WAREHOUSE 'A'
(307,066 SF)

PROPOSED WAREHOUSE 'B'
(244,666 SF)

PARCEL 11
JOHN MARIO RUPPERT REV
LIV TRUST
L3791 F.520
99.2581 AC
ZONE: LI

PARCEL 32
RJD DEVELOPMENT
L3430 F.524
PLAT 74/04
ZONE: LI / RS

STATE ROAD COMMISSION
OF MARYLAND
FROM 360 RR
BRIDGE TO
MONOCACY RIVER
PLAT NO. 41156
(UNEXECUTED)

300 FEET
RESERVATION AREA
(FUTURE MD-75
RELOCATION)

SCALE 1" = 100'-0"
100 50 0 100 200
NORTH

RECOMMENDATION

Staff has no objection to conditional approval of this Site Development Plan. If the Planning Commission conditionally approves the Site Development Plan, the Plan is valid for a period of three (3) years from the date of Planning Commission approval (valid through June 14, 2026). APFO validity will be concurrent with the site plan.

Based upon the findings, conclusions, and modifications as presented in the staff report, Staff finds that the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are approved and conditions met:

Modifications:

1. 1-19-6.220 Request to allow parking to be calculated at one space per 1,500 SF rather than 1,000SF, resulting in 182 fewer parking spaces.
2. 1-19-6.500(D) Request to allow light spillage to exceed 0.5 footcandles in the area of the main entrance.
3. 1-19-6.220(H(1)) Request to allow one bike rack per building rather than the 8 (Building A) and 6 (Building B) required by code.

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. The FRO plan must be approved prior to site plan approval. FRO mitigation (transfer of banking credit) must be provided prior to applying for grading permits or building permits, whichever is applied for first.
3. Clarify the monument signage total is just the sign lettering and does not include the base.
4. Enter the frontage in the bulk chart instead of NA.

Spring Ridge Business Center

Site Plan

The Applicant is requesting Site Plan approval to redevelop the existing facility as a Planned Commercial Development with a total of five (5) buildings consisting of 45,250 sf on a 4.20-acre Site.



SP275158
Spring Ridge
Business Center
6/14/2023

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Prepared by: Frederick County
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1:2,000 0 100 200 Feet

This aerial map displays a residential and commercial area with red boundary lines. The map includes a compass rose and a scale bar in the top left corner. The streets shown are Old National Pike, Baltimore Rd, Mains Ln, Barts Way, and Shepherd Dr. The map is divided into several sections, each containing multiple property addresses. The addresses are labeled as follows:

- 5814C Mains Ln
- 9031 Baltimore Rd
- 5814 Mains Ln
- 5802 Mains Ln
- 5800 Mains Ln
- 5740 Mains Ln
- 5738 Mains Ln
- 5736 Mains Ln
- 9060 Mains Ln
- 9058 Mains Ln
- 9057 Mains Ln
- 9053 Mains Ln
- 5857 Barts Way
- 5853 Barts Way
- 5851 Barts Way
- 5849 Barts Way
- 5847 Barts Way
- 5845 Barts Way
- 5843 Barts Way
- 5841 Barts Way
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- 5837 Barts Way
- 5835 Barts Way
- 5833 Barts Way
- 5831 Barts Way
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- 5707 Barts Way
- 5705 Barts Way
- 5703 Barts Way
- 5701 Barts Way
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- 5291 Barts Way
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- 5281 Barts Way
- 5279 Barts Way
-

This is an aerial map of a residential neighborhood. The map features a grid of streets with various house numbers labeled. Key streets include Baltimore Rd, Old National Pike, Shepherd Dr, Barts Way, Broad Branch Way, and Mains Ln. Red lines are overlaid on the map, highlighting specific streets and intersections. A compass rose and a scale bar are visible in the top left corner. The map also shows a mix of residential buildings, including houses and larger commercial-style structures, and some open land areas.

Aerial looking west from Mains Lane toward Holly Ridge (a.k.a. Preston)



Aerial looking south from Old National Pike toward Mains Heights



SP275158
Spring Ridge
Business Center
6/14/2023

Zoning

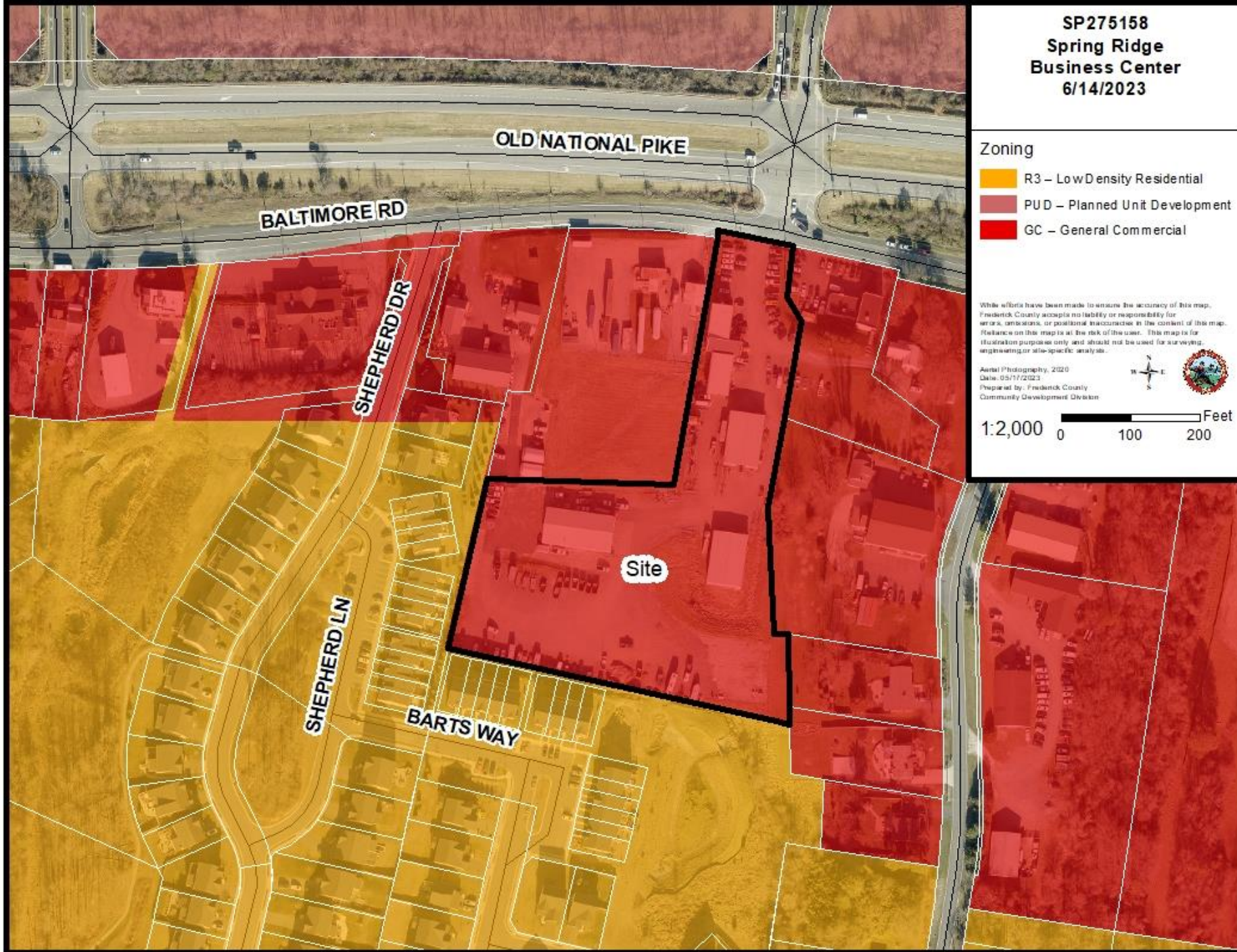
- R3 – Low Density Residential
- PUD – Planned Unit Development
- GC – General Commercial

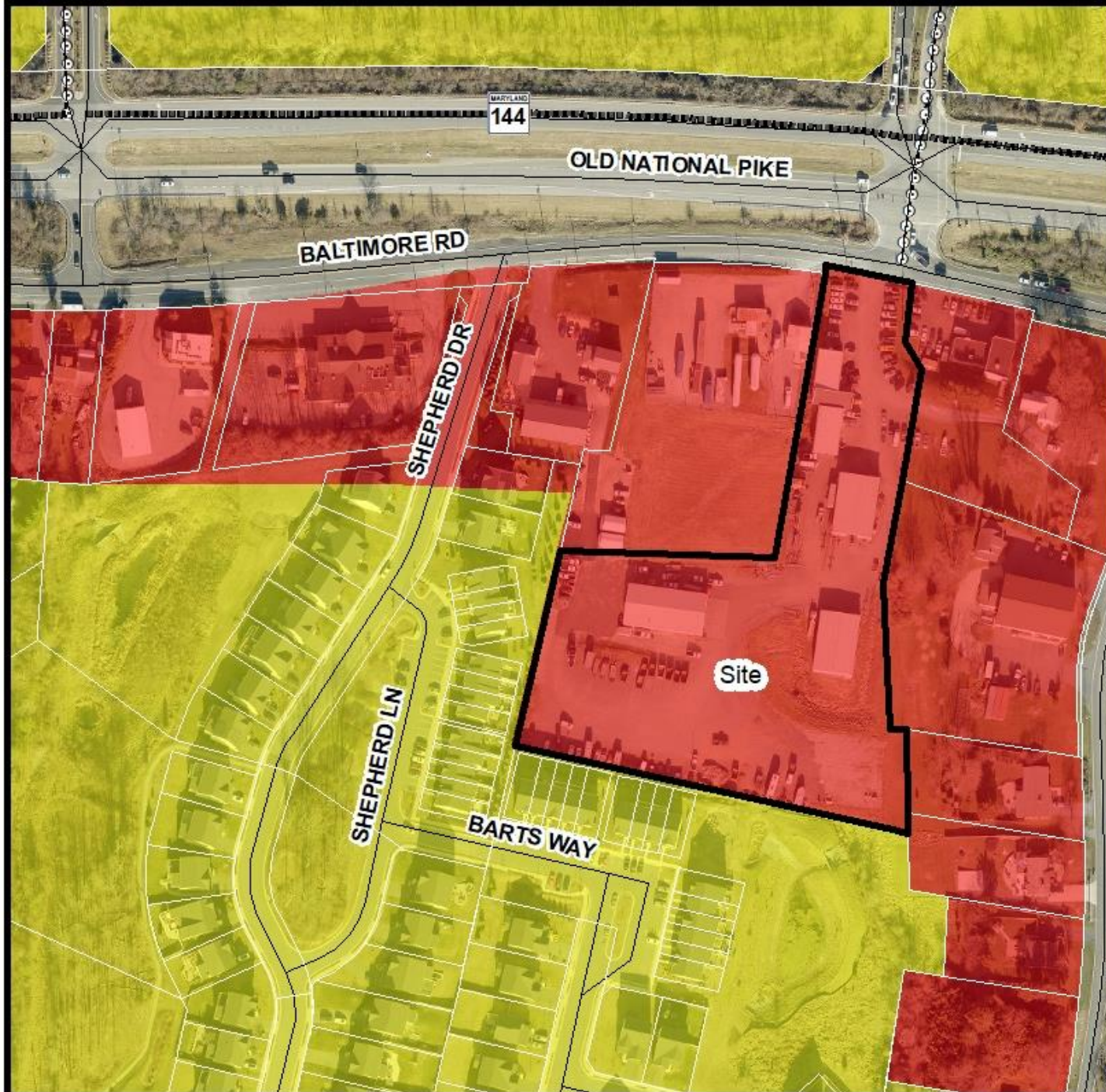
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Date: 05/17/2023
Prepared by: Frederick County
Community Development Division



1:2,000 0 100 200 Feet





SP275158
Spring Ridge
Business Center
6/14/2023

Comprehensive Plan

- Minor Arterial, Existing
- Collector, Existing
- Low Density Residential
- General Commercial
- Community Growth Area

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Aerial Photography, 2020
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1:2,000 0 100 200 Feet

PROPOSED SITE USES			
USE	EXISTING SF	PROPOSED SF	BUILDINGS
AUTO PART SALES & INSTALLATION	2,500 SF	6,500 SF (+4,000 SF)	A: 4,000 SF D: 2,500 SF
AUTO REPAIR OR SERVICE SHOP	5,000 SF	11,750 SF (+6,750 SF)	A: 1,000 SF D: 10,750 SF
CARPENTRY, ELECTRICAL, PLUMBING, WELDING, PRINTING, UPHOLSTERING	5,550 SF	8,400 (+2,850 SF)	A: 3,000 SF B: 5,400 SF
CONTRACTORS, FENCING, POOL & SIDING	0 SF	3,000 (+3,000 SF)	C: 3,000 SF
OFFICE, BUSINESS	0 SF	2,400 (+2,400 SF)	E: 2,400 SF
WAREHOUSE	3,750 SF	13,200 (+9,450 SF)	B: 2,600 SF C: 5,000 SF E: 5,600 SF
TOTAL	16,800 SF	45,250 SF (+28,450 SF)	A: 8,000 SF B: 8,000 SF C: 8,000 SF D: 13,250 SF E: 8,000 SF







RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan, as long as the Commission approves the modification requests. If the Planning Commission conditionally approves the Site Plan, it is valid for three (3) years (until June 14, 2026).

Based upon the findings and conclusions as presented in the staff report, the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions are met:

Planning Commission approval of the following modification requests from the Applicant:

1. A parking space modification under §1-19-6.220(A)(2) to allow for 92 parking spaces, or 8 fewer spaces than the required 100 parking spaces.
2. A lighting modification under §1-19-6.500 to allow light spillage in excess of 0.5 foot-candles, up to a maximum of 2.2 foot-candles over the eastern boundary and up to a maximum of 1.3 foot-candles over the northern boundary.

Staff-proposed conditions of approval:

1. The Applicant shall comply with all Staff and agency comments through the completion of the plan.
2. The FRO plan must be approved prior to Site Plan approval, and the required FRO mitigation must be provided prior to applying for grading permits or building permits, whichever is applied for first.

Linganore Town Center North – Lot N2

Site Plan

The Applicant is requesting Site Plan approval to construct a 19,490 sq ft Retail Store on a proposed 2.26-acre lot.

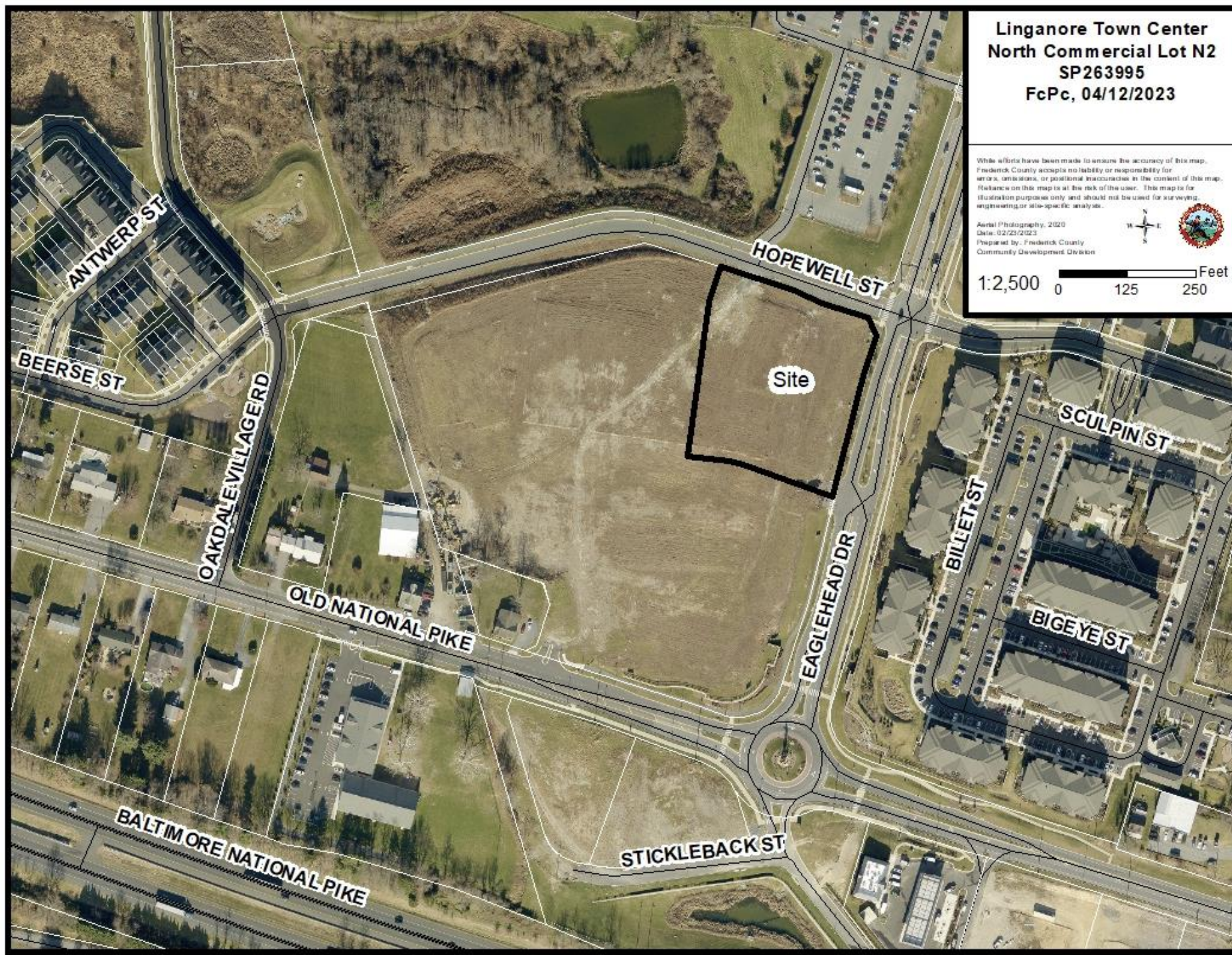
Linganore Town Center
North Commercial Lot N2
SP263995
FcPc, 04/12/2023

While efforts have been made to ensure the accuracy of this map, Frederick County accepts no liability or responsibility for errors, omissions, or positional inaccuracies in the content of this map. Reliance on this map is at the risk of the user. This map is for illustration purposes only and should not be used for surveying, engineering, or site-specific analysis.

Aerial Photography, 2020
Date: 02/22/2023
Prepared by: Frederick County
Community Development Division



1:2,500 0 125 250 Feet



Linganore Town Center
North Commercial Lot N2
SP263995
FcPc, 04/12/2023

Zoning

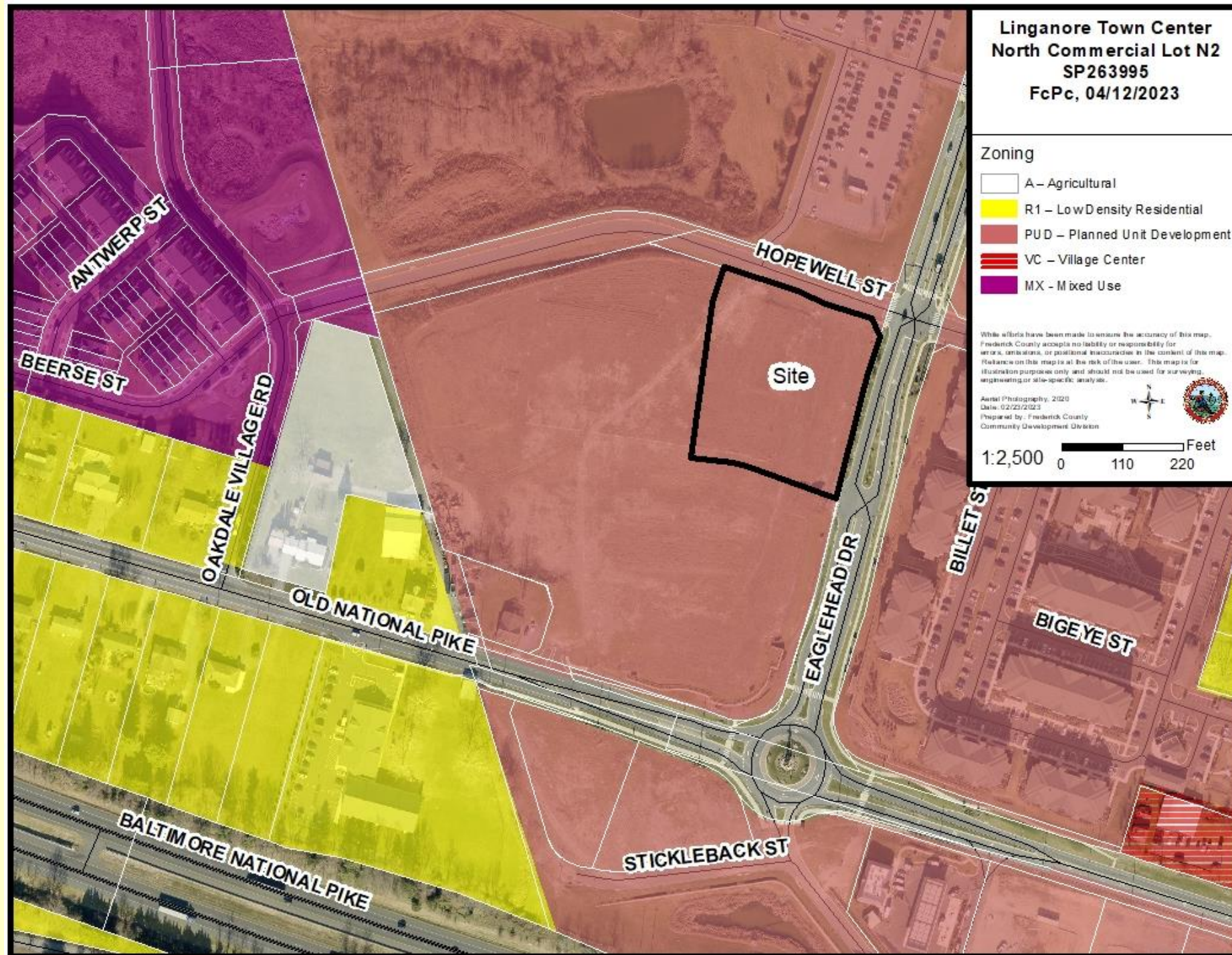
- A – Agricultural
- R1 – Low Density Residential
- PUD – Planned Unit Development
- VC – Village Center
- MX – Mixed Use

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Aerial Photography, 2020
Date: 02/23/2023
Prepared by: Frederick County
Community Development Division



1:2,500 0 110 220 Feet



Linganore Town Center
North Commercial Lot N2
SP263995
FcPc, 04/12/2023

Comprehensive Plan

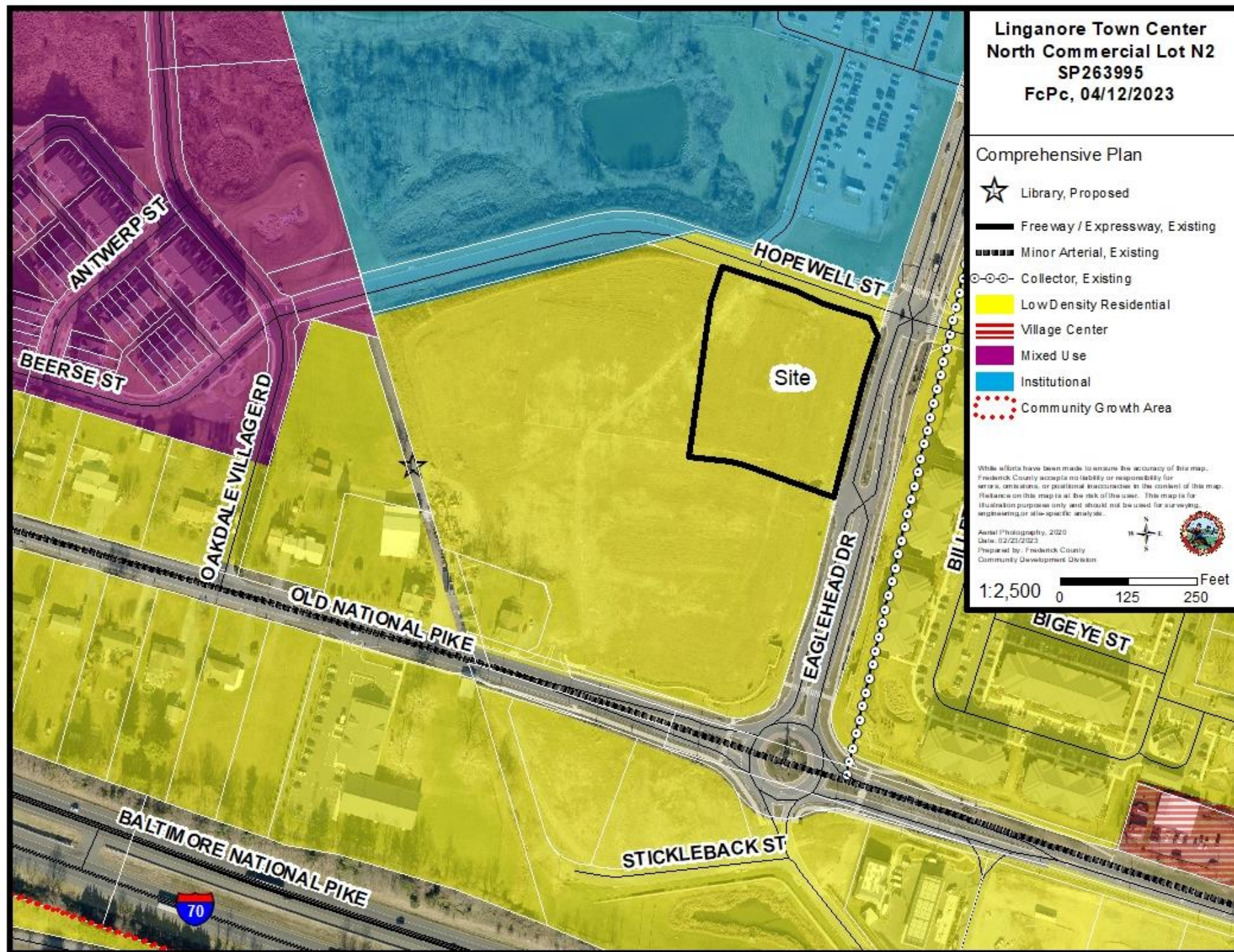
- ★ Library, Proposed
- Free way / Expressway, Existing
- Minor Arterial, Existing
- Collector, Existing
- Low Density Residential
- Village Center
- Mixed Use
- Institutional
- Community Growth Area

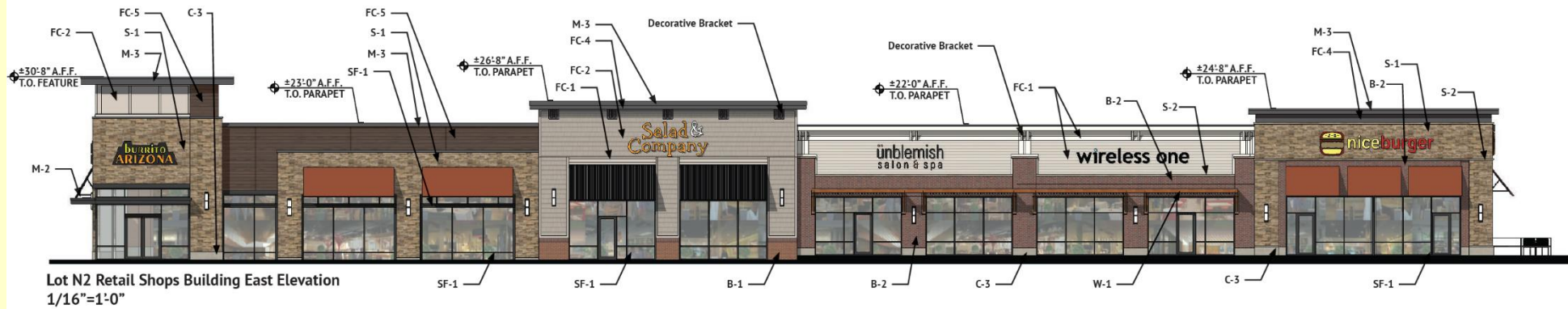
While efforts have been made to ensure the accuracy of this map, Frederick County accepts no liability or responsibility for errors, omissions, or positional inaccuracies in the content of this map. Reliance on this map is at the risk of the user. This map is for illustration purposes only and should not be used for surveying, engineering, or site-specific analysis.

Aerial Photography, 2020
Date: 02/23/2023
Prepared by: Frederick County
Community Development Division



1:2,500 0 125 250 Feet





Lot N2 Retail Shops Building Materials



C-1 Concrete Masonry Unit
Split Face - Khaki/Buf



C-2 Concrete Masonry Unit
Split Face - Beige/Taupe



C-3 Concrete Masonry Unit
Ground Face - Khaki/Buf



FC-1 Fiber Cement Lap, Panel, or
Shingle Siding & Trim
Khaki/Buf



FC-2 Fiber Cement Lap, Panel, or
Shingle Siding & Trim
Taupe/Tan



FC-3 Fiber Cement Lap, Panel, or
Shingle Siding & Trim
Grey



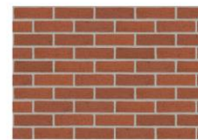
FC-4 Fiber Cement Lap, Panel, or
Shingle Siding & Trim
Dark Grey



FC-5 Fiber Cement Wood Look
Cladding
Brown/Dark Grey



FC-6 Fiber Cement Wood Look
Cladding
Grey



B-1 Brick Veneer
Red



B-2 Brick Veneer
Dark Red



S-1 Stone Veneer
Beige



W-1 Wood or Faux Wood Trellis
Match Wood-Look Fiber Cement



SF-1 Aluminum Storefront
Black/Charcoal Gray



S-2 - Stone Veneer or Precast
Veneer
Buff



M-1 Metal
Khaki/Buf



M-2 Metal
Black



M-3 Metal
Dark Gray

Lake Linganore Town Center Frederick County, MD

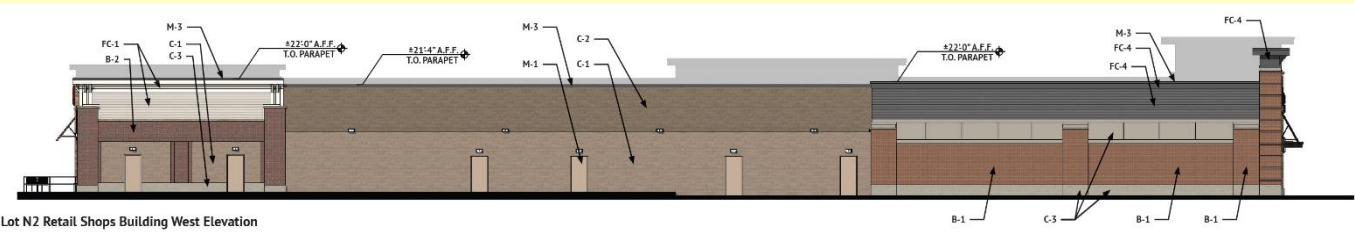
Note: For conceptual illustration only. Design, dimensions, grading, colors, materials, and the location of signs and doors are subject to change.

Lot N2 Retail Shops Building

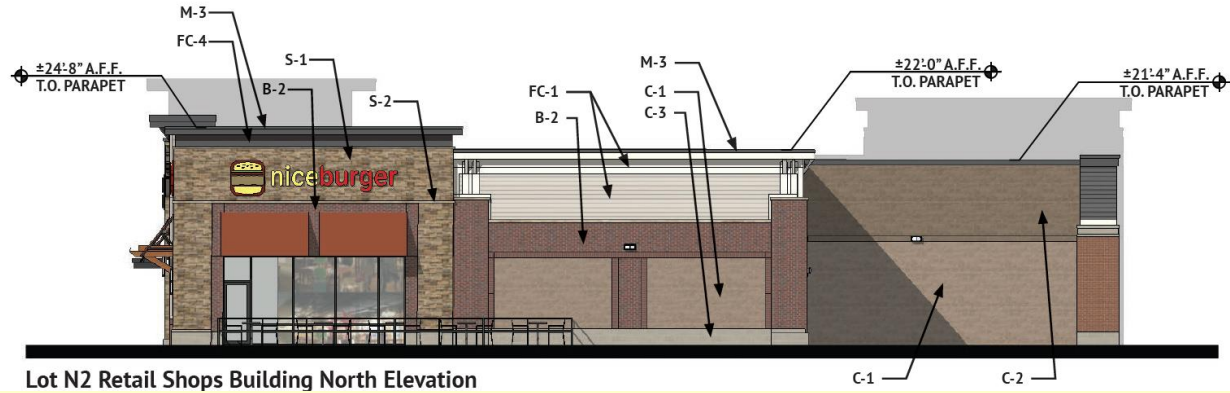
**Conceptual Elevations
& Material Selections**
Scale: 1/16"=1'-0"

15047.01
5-22-23
Page 1

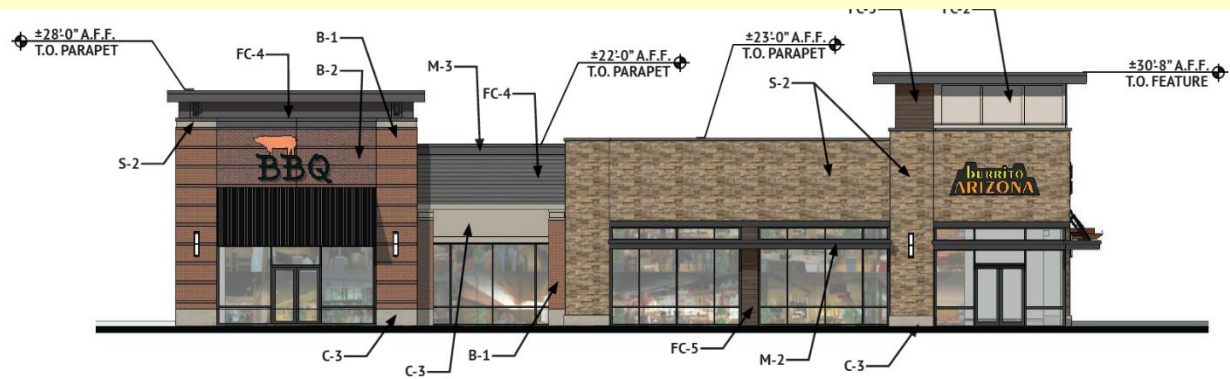




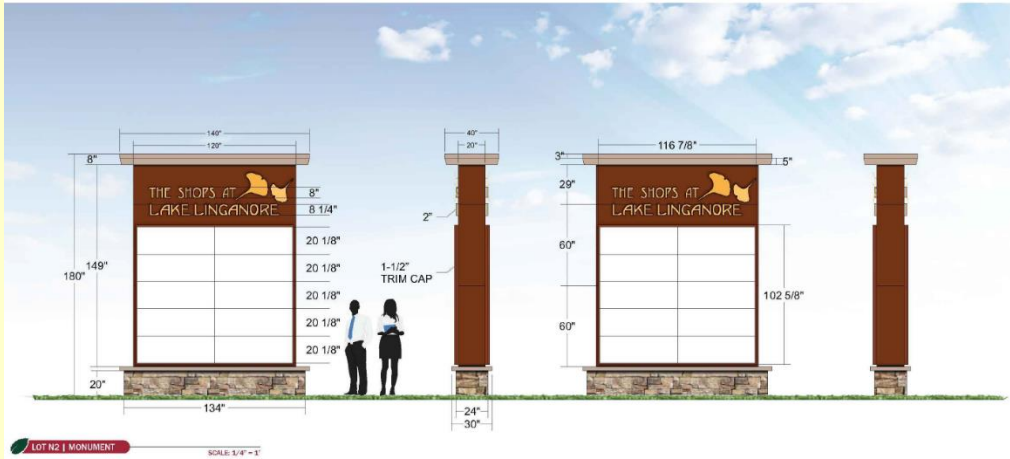
Lot N2 Retail Shops Building West Elevation



Lot N2 Retail Shops Building North Elevation



Lot N2 Retail Shops Building South Elevation



LOT N2 MONUMENT

RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan for LTC North Lot N2 – Retail Store. If the Planning Commission conditionally approves the Site Plan, it is valid for a period of three (3) years from the date of Planning Commission approval (valid through June 14, 2026).

Based upon the findings, conclusions, and modifications as presented in the staff report, Staff finds that the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions met:

Planning Commission approval of the following modification requests from the Applicant:

1. Approval of a Parking Space Modification Request to allow for 84 parking spaces, or 13 more spaces than the required 71 spaces.
2. Approval of the modification of the 14-foot maximum height for light poles in a PUD Zoning district to allow 18-foot tall pole mounted lights.
3. Approval of the light spillage modification to allow for light values to exceed 0.5 footcandles at the internal property lines.
4. Approval of an alternate street tree planting modification to allow for 10 street trees, or 8 fewer than the required 18 street trees.
5. Approval of a site and building design modification to allow for an alternative site design (parking that is predominantly in the front of the building).

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. Combined Preliminary/Final plan associated with this plan must be approved prior to final site plan approval.
3. Revise the landscaping schedule to have the percentage of total proposed landscaping be at least 70% native to Frederick County.
4. Revise the building restriction line to be consistent with revised Combined Preliminary/Final plat for LTC – North Commercial A/P PL264033.
5. Minor architectural revisions (pending future user for the Site) will be reviewed and approved by Staff.

Linganore Town Center North – Lot N3

Site Plan

The Applicant is requesting Site Plan approval to construct a 2,325 sq ft Restaurant on a proposed 0.78-acre lot.

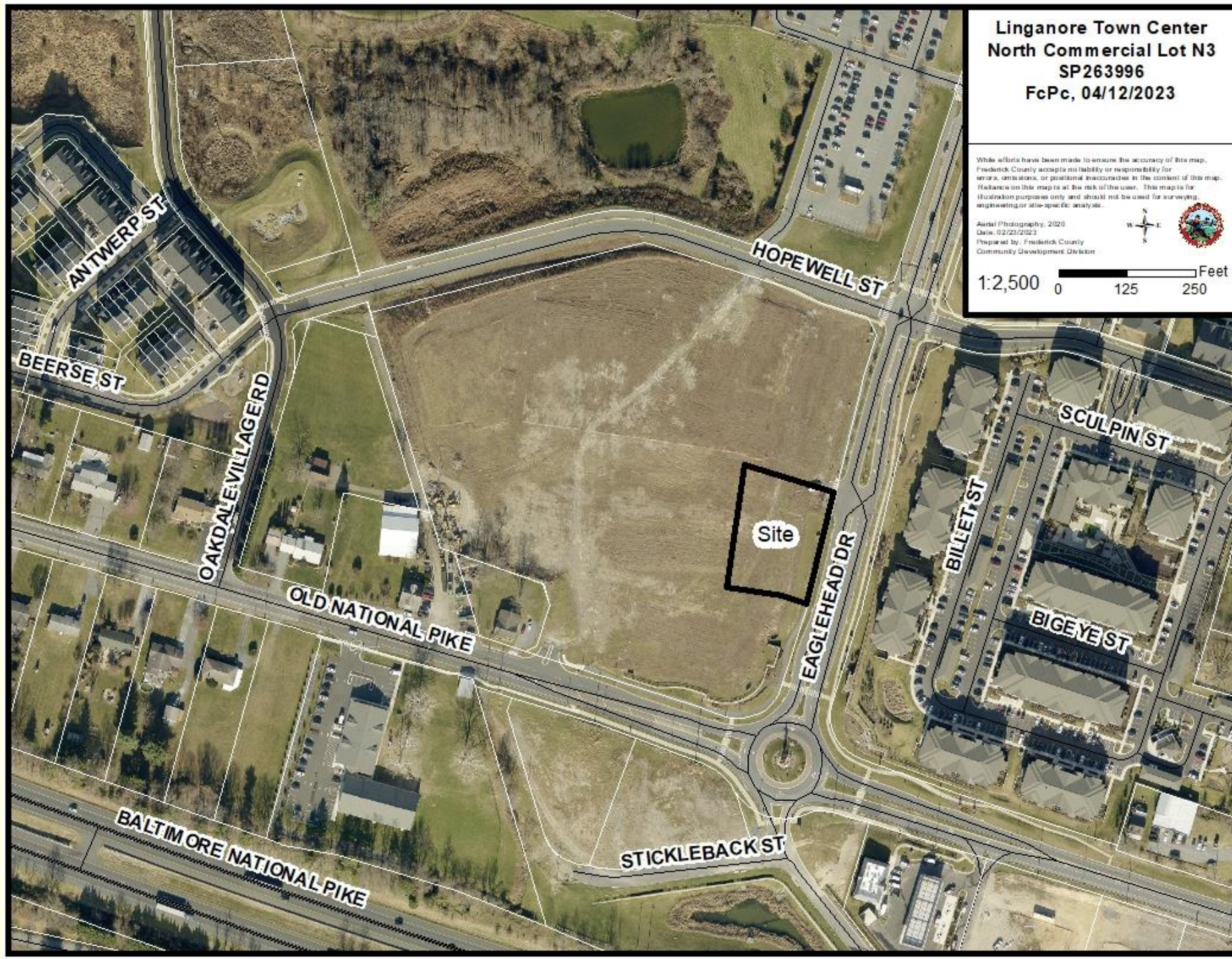
Linganore Town Center
North Commercial Lot N3
SP263996
FcPc, 04/12/2023

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Aerial Photography, 2020
Date: 02/22/2023
Prepared by: Frederick County
Community Development Division



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Linganore Town Center
North Commercial Lot N3
SP263996
FcPc, 04/12/2023

Zoning

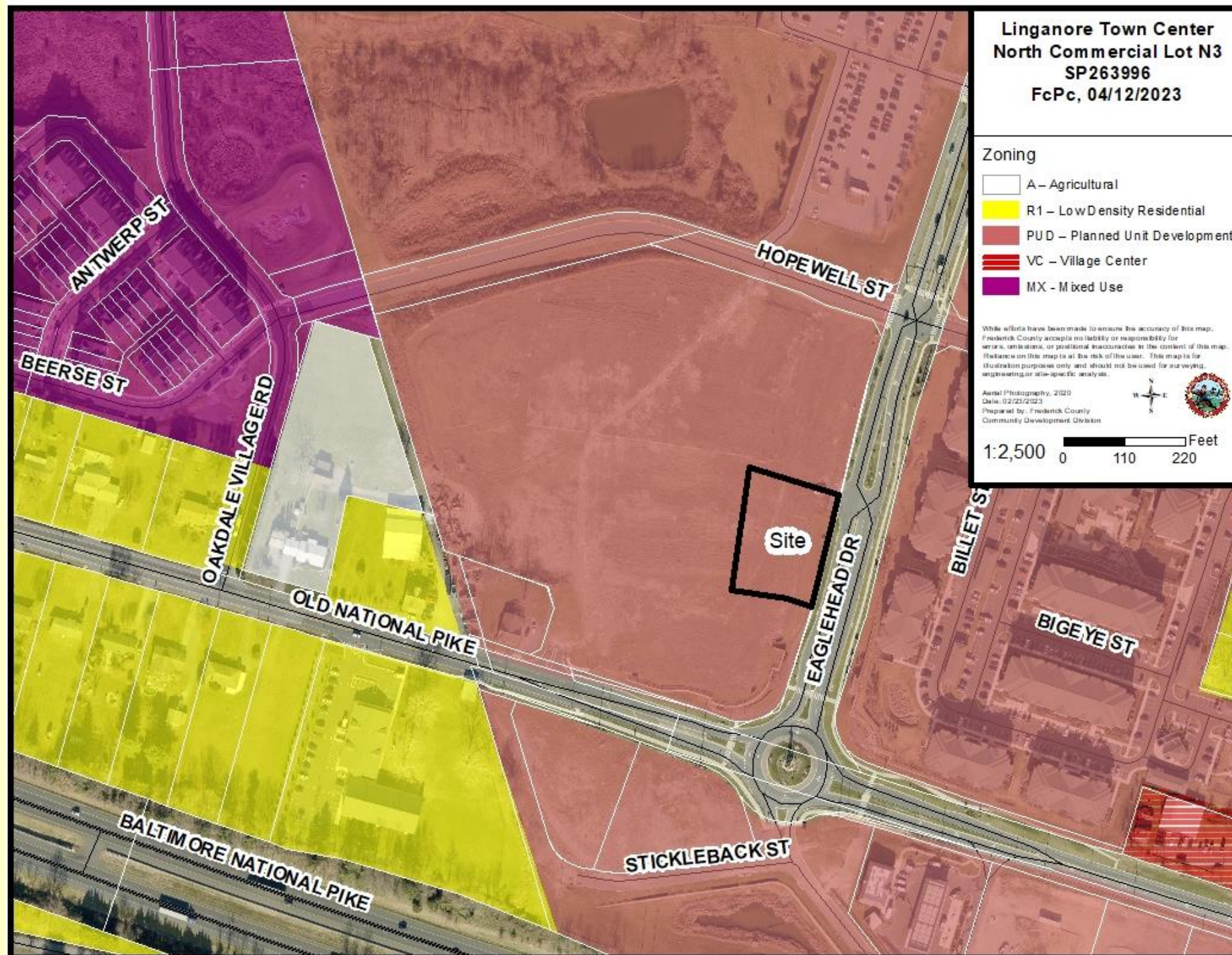
-  A – Agricultural
-  R1 – Low Density Residential
-  PUD – Planned Unit Development
-  VC – Village Center
-  MX – Mixed Use

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Aerial Photography, 2020
Date: 02/23/2023
Prepared by: Frederick County
Community Development Division



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0 110 220



Linganore Town Center
North Commercial Lot N3
SP263996
FcPc, 04/12/2023

Comprehensive Plan

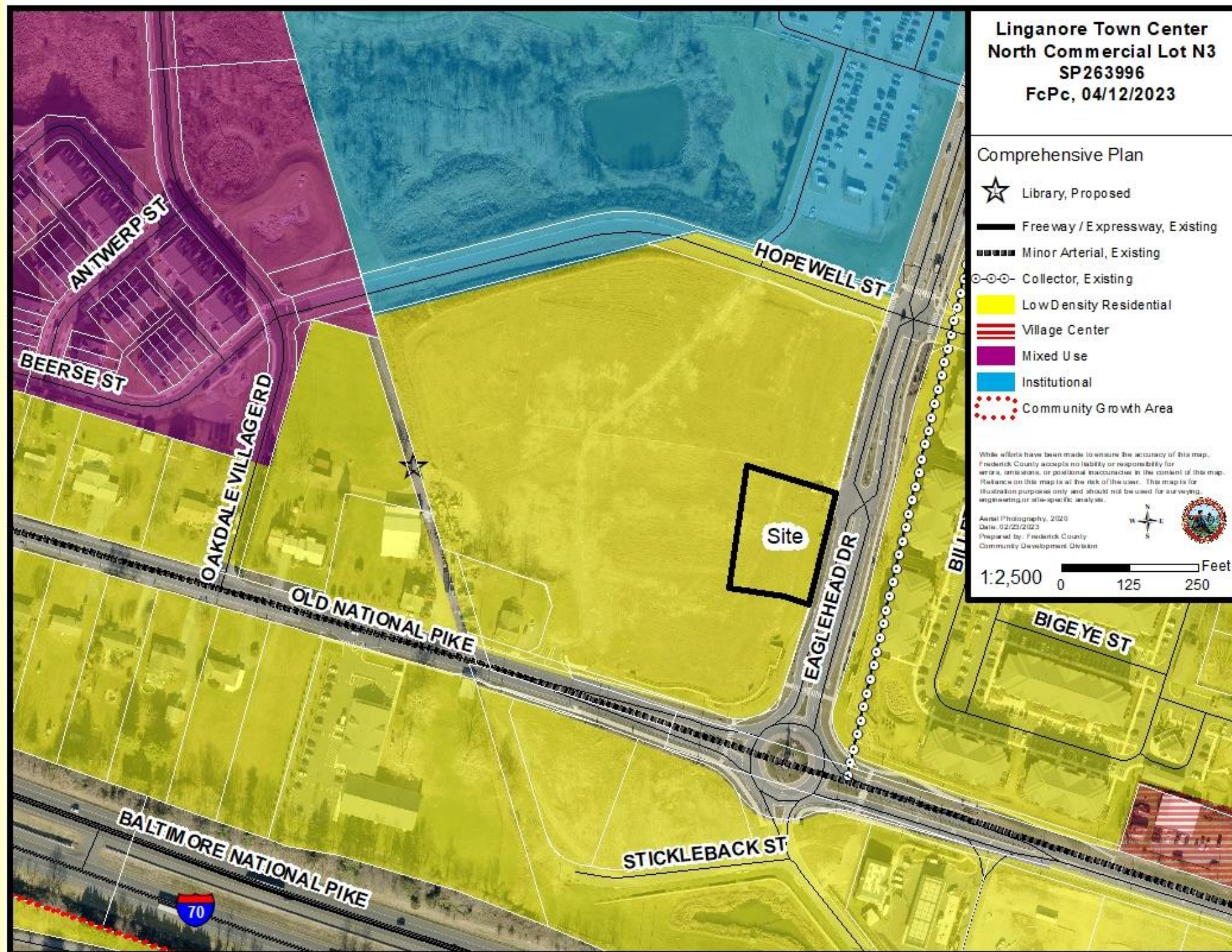
- ★ Library, Proposed
- Free way / Expressway, Existing
- Minor Arterial, Existing
- Collector, Existing
- Low Density Residential
- Village Center
- Mixed Use
- Institutional
- Community Growth Area

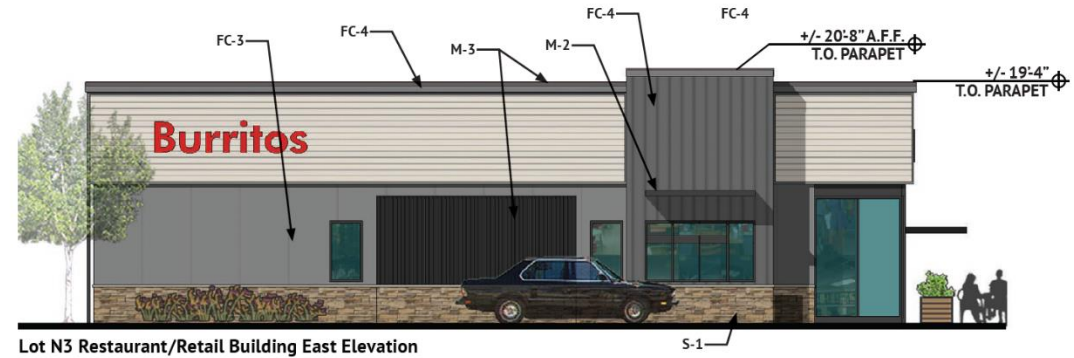
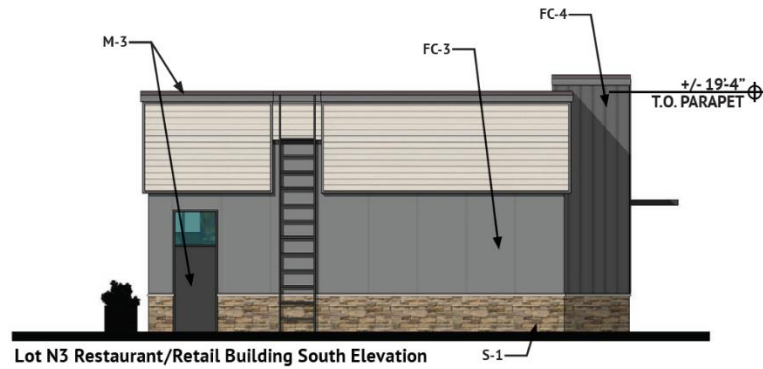
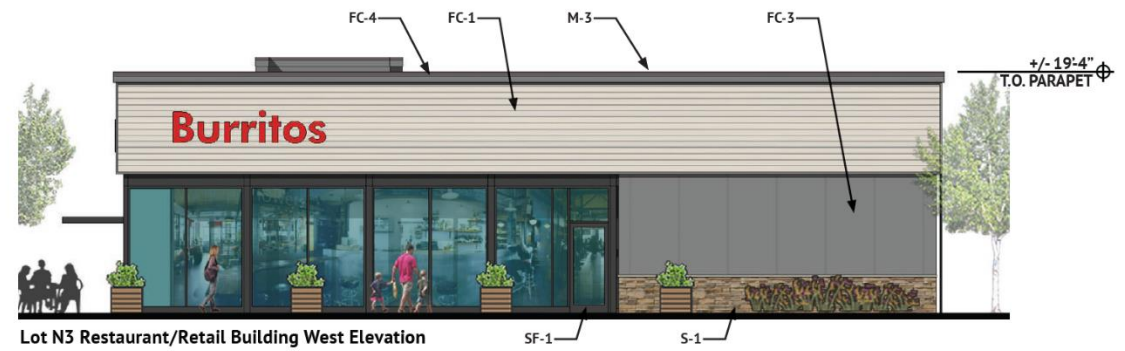
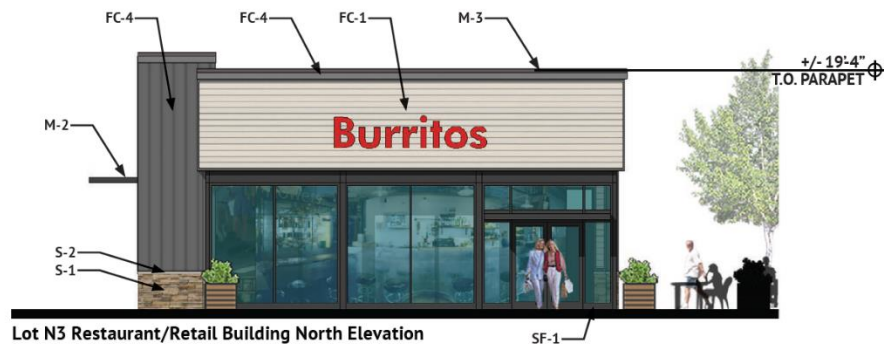
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Aerial Photography, 2020
Date: 02/23/2023
Prepared by: Frederick County
Community Development Division



1:2,500 0 125 250 Feet





Lot N3 Retail Shops Building Conceptual Materials



FC-1 Fiber Cement Lap, Panel, or Shingle Siding & Trim Khaki/Buf



FC-3 Fiber Cement Lap, Panel, or Shingle Siding & Trim Buff



S-1 Stone Veneer Beige



FC-4 Fiber Cement Lap, Panel, or Shingle Siding & Trim Dark Grey



SF-1 Aluminum Storefront Black/Charcoal Gray



S-2 - Stone Veneer or Precast Veneer Buff



M-3 Metal Dark Gray



M-1 Metal Khaki/Buf



M-2 Metal Black

NOTE: Tenants have not been confirmed. Architecture represents prototype of possible tenant. Building user(s) shall be permitted to include or substitute materials approved for any other building/lot in the development, and may include materials not listed here that are harmonious with or substantially equivalent to the approved palette.

RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan for LTC North Lot N3 – Restaurant. If the Planning Commission conditionally approves the Site Plan, it is valid for a period of three (3) years from the date of Planning Commission approval (valid through June 14, 2026).

Based upon the findings, conclusions, and modifications as presented in the staff report, Staff finds that the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions met:

Planning Commission approval of the following modification requests from the Applicant:

1. Approval of the modification of the 14-foot maximum height for light poles in a PUD Zoning district to allow 18-foot tall pole mounted lights.
2. Approval of the light spillage modification to allow for light values to exceed 0.5 footcandles at the internal property lines.
3. Approval of a site and building design modification to allow for an alternative site design.

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. Combined Preliminary/Final plan associated with this plan must be approved prior to final site plan approval.
3. Revise the landscaping schedule to have the percentage of total proposed landscaping be at least 70% native to Frederick County.
4. Revise the building restriction line to be consistent with revised Combined Preliminary/Final plat for LTC – North Commercial A/P PL264033.
5. Minor architectural revisions (pending future user for the Site) will be reviewed and approved by Staff.

Linganore Town Center North – Lot N4

Site Plan

The Applicant is requesting Site Plan approval to construct a 2,225 sq ft Restaurant on a proposed 1.04-acre lot.

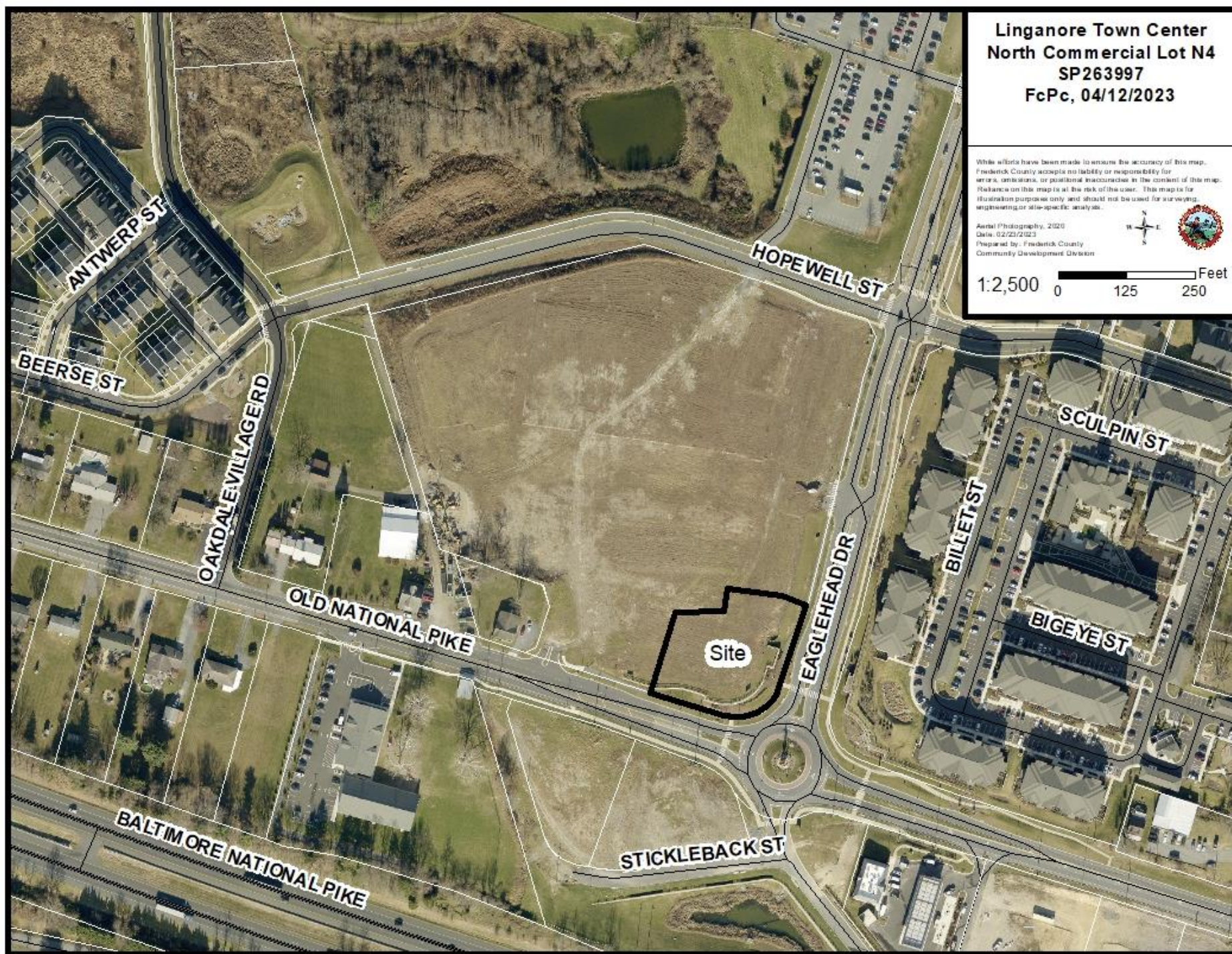
Linganore Town Center
North Commercial Lot N4
SP263997
FcPc, 04/12/2023

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Aerial Photography, 2020
Date: 02/21/2023
Prepared by: Frederick County
Community Development Division



1:2,500 0 125 250 Feet



**Linganore Town Center
North Commercial Lot N4
Restaurant
FcPc, 04/12/2023**

Zoning

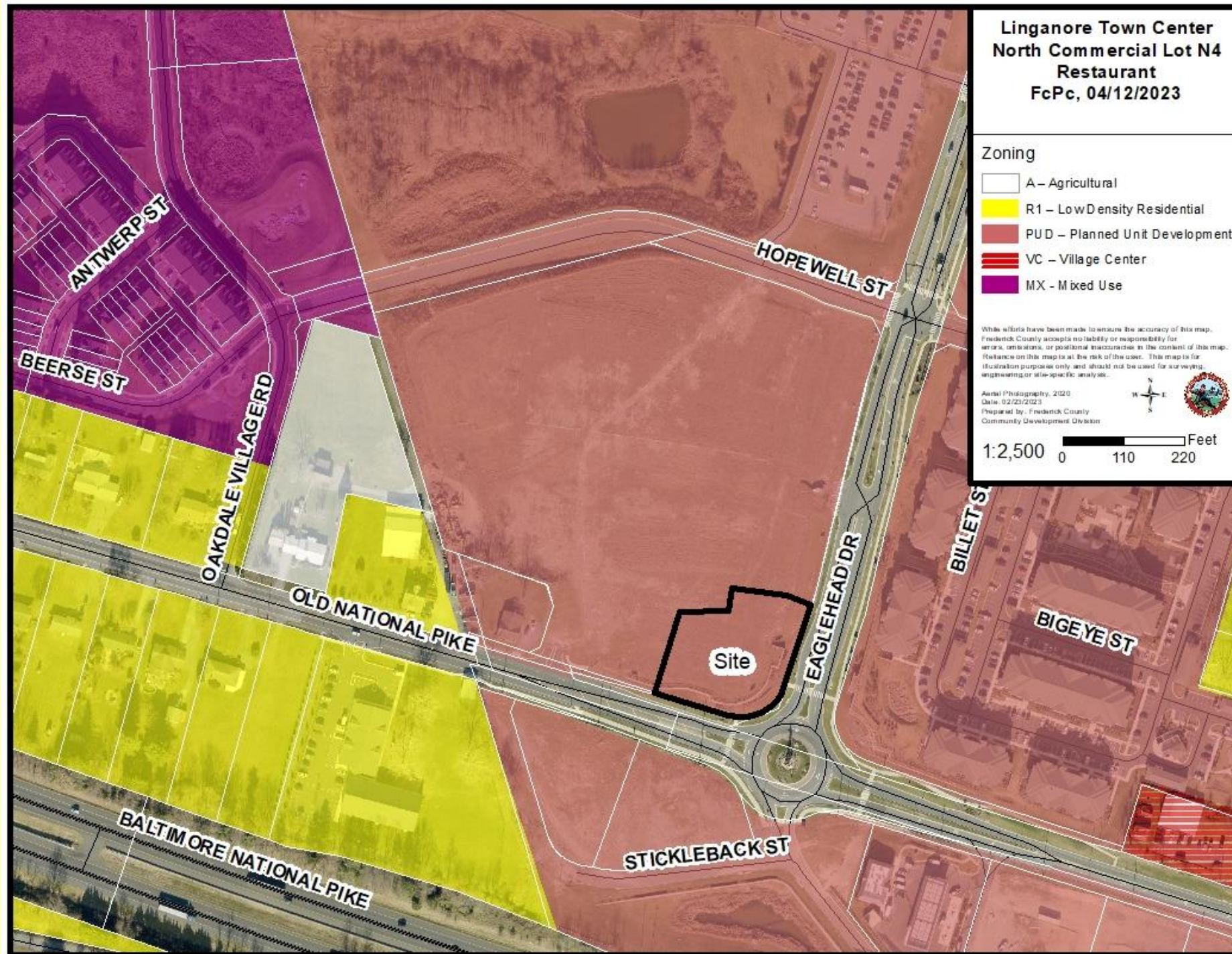
- A – Agricultural
- R1 – Low Density Residential
- PUD – Planned Unit Development
- VC – Village Center
- MX – Mixed Use

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Aerial Photography, 2020
Date: 02/23/2023
Prepared by: Frederick County
Community Development Division



1:2,500  **Feet**
0 110 220



Linganore Town Center
North Commercial Lot N4
SP263997
FcPc, 04/12/2023

Comprehensive Plan

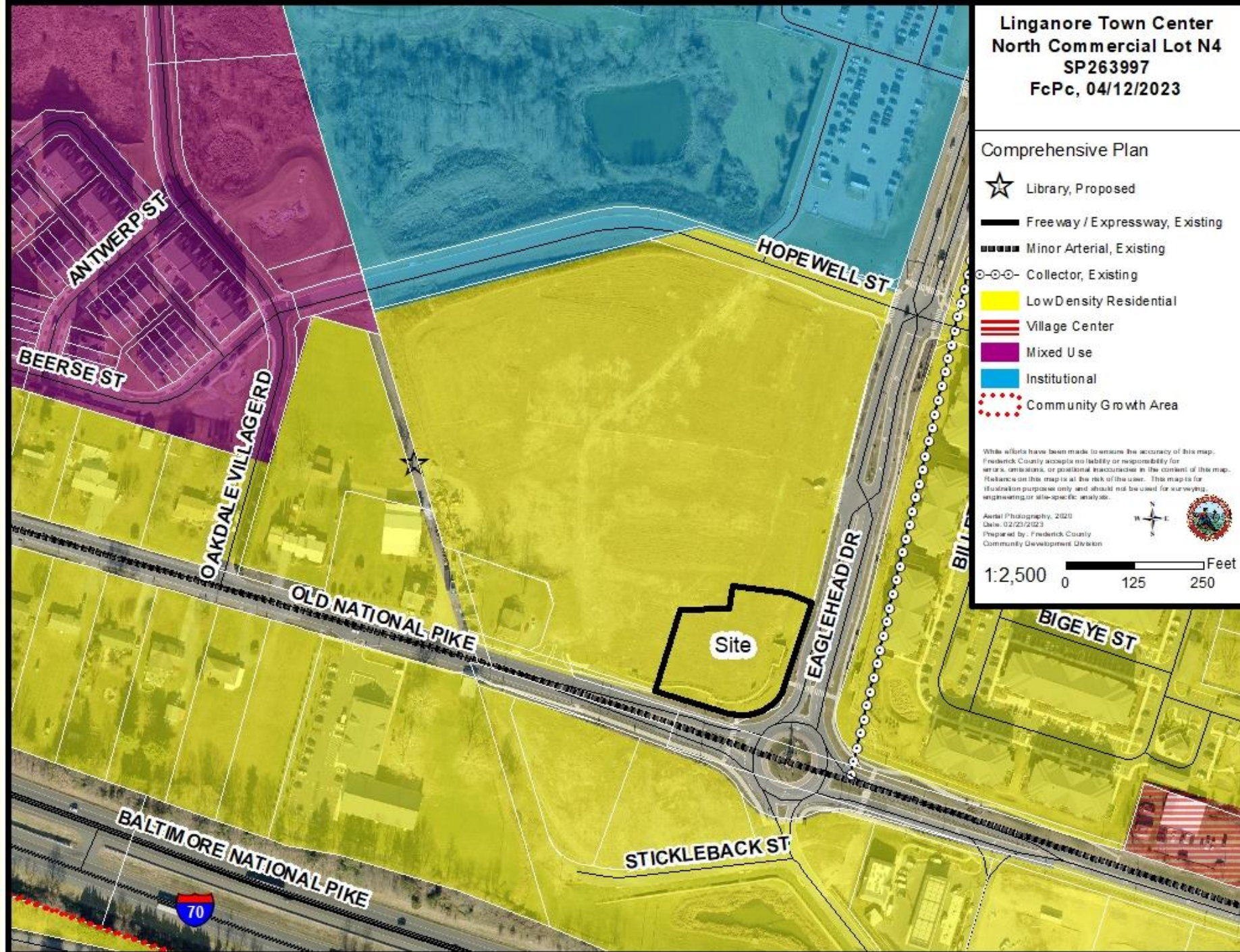
- ★ Library, Proposed
- Free way / Expressway, Existing
- ==== Minor Arterial, Existing
- Collector, Existing
- Low Density Residential
- Village Center
- Mixed Use
- Institutional
- Community Growth Area

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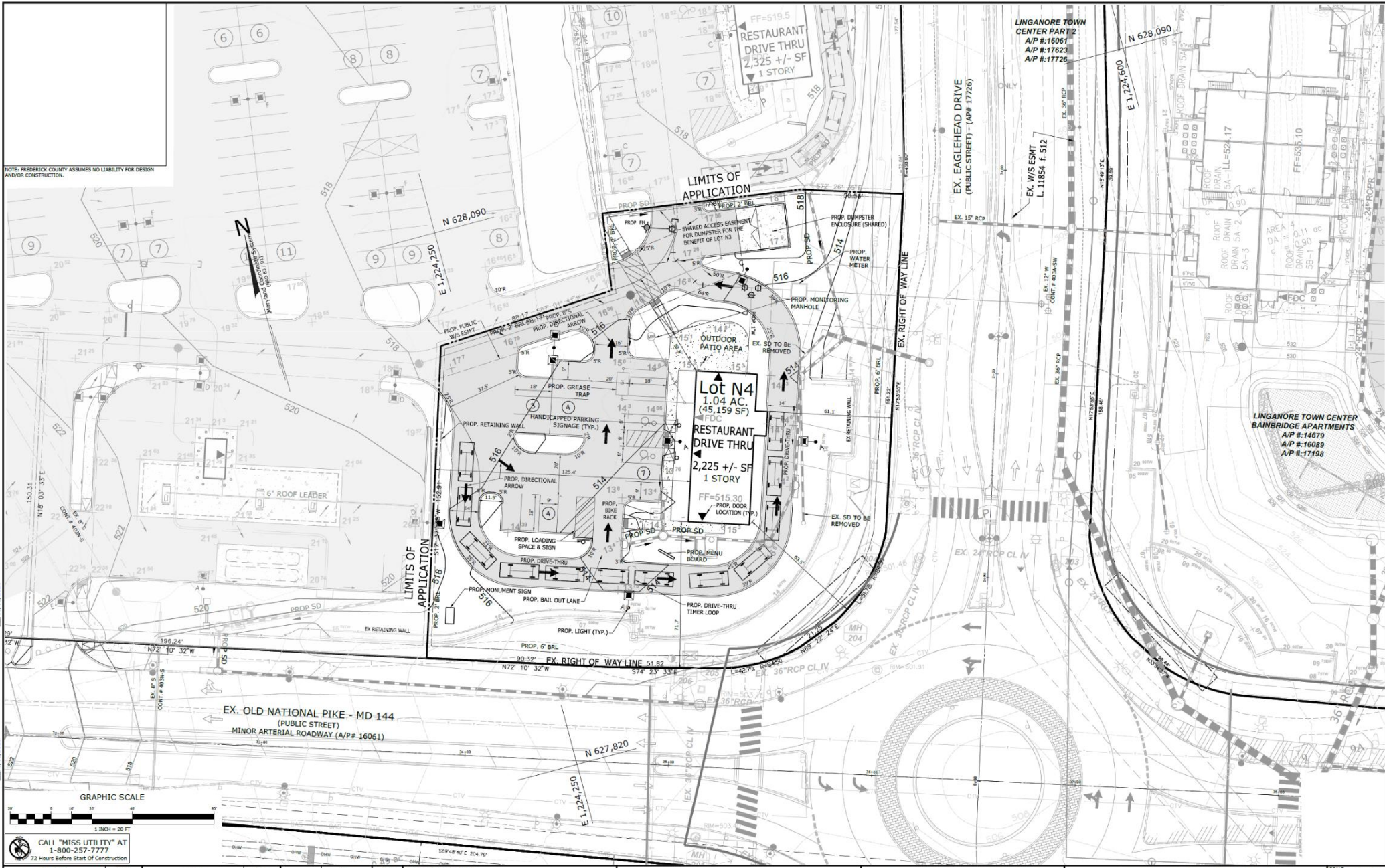
Aerial Photography, 2020
Date: 02/23/2023
Prepared by: Frederick County
Community Development Division

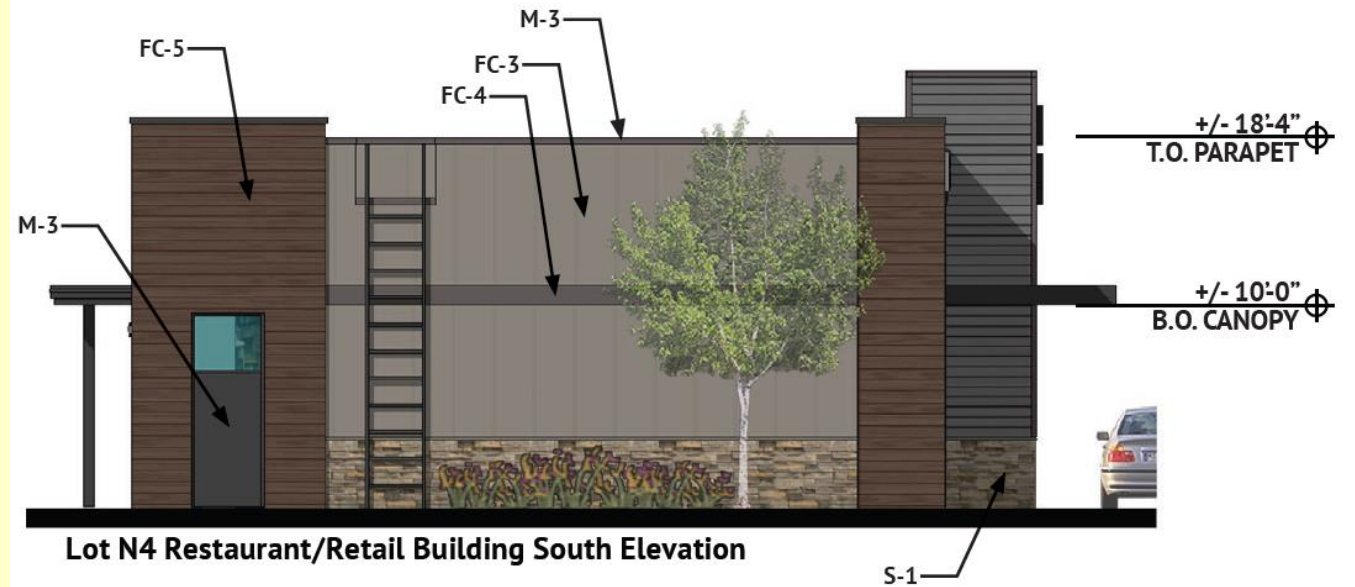


1:2,500 0 125 250 Feet



NOTE: FREDERICK COUNTY ASSUMES NO LIABILITY FOR DESIGN AND/OR CONSTRUCTION.







RECOMMENDATION

Staff has no objection to conditional approval of the Site Plan for LTC North Lot N4 – Restaurant. If the Planning Commission conditionally approves the Site Plan, it is valid for a period of three (3) years from the date of Planning Commission approval (valid through June 14, 2026).

Based upon the findings, conclusions, and modifications as presented in the staff report, Staff finds that the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions met:

Planning Commission approval of the following modification requests from the Applicant:

1. Approval of a Parking Space Modification Request to allow for 18 parking spaces, or 5 fewer spaces than the required 23 spaces.
2. Approval of the modification of the 14-foot maximum height for light poles in a PUD Zoning district to allow 18-foot tall pole mounted lights.
3. Approval of the light spillage modification to allow for light values to exceed 0.5 footcandles at the internal property lines.
4. Approval of a street tree modification to allow for 0 street trees, or 6 fewer than the required 6 street trees.
5. Approval of a site and building design modification to allow for an alternative site design.

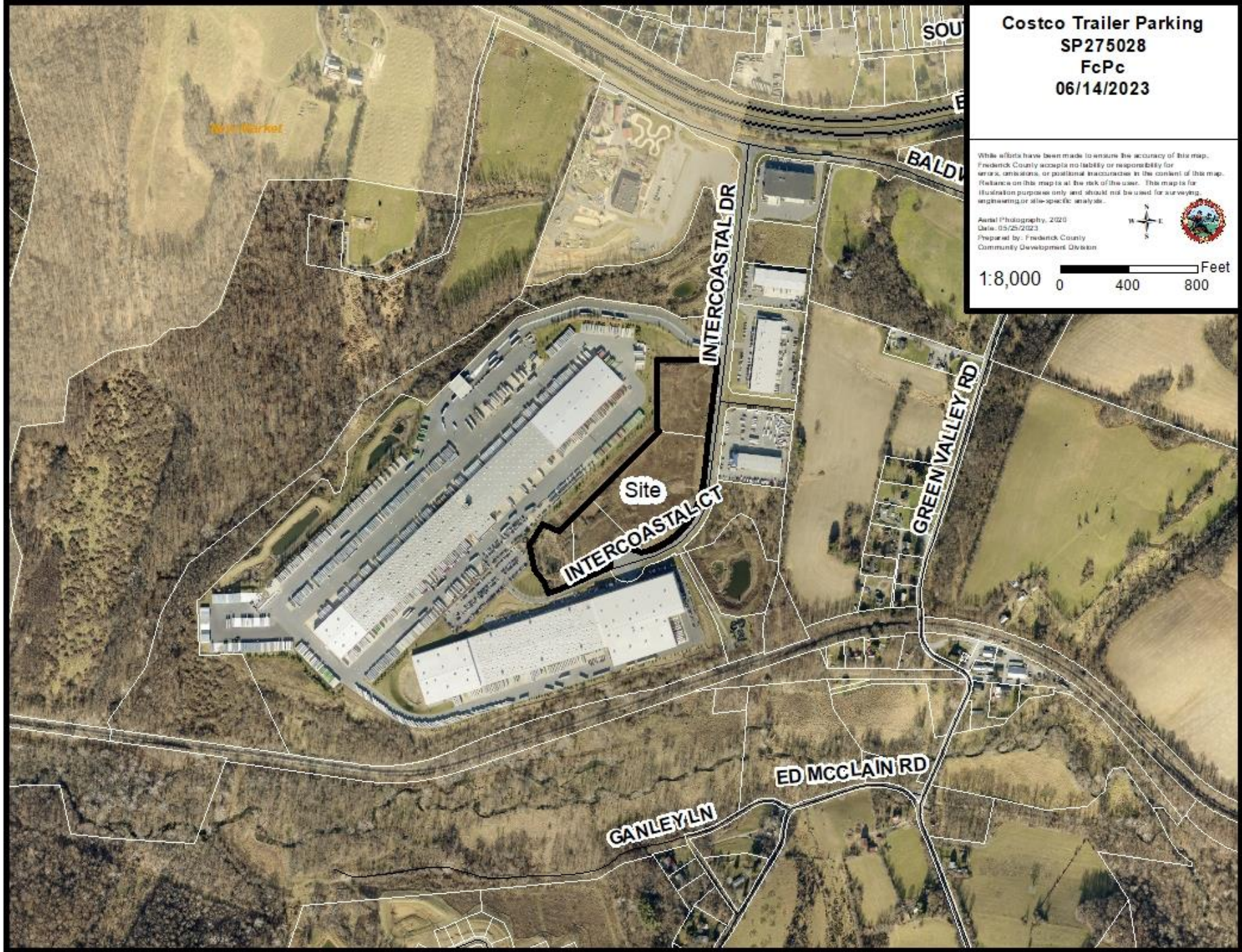
Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. Combined Preliminary/Final plan associated with this plan must be approved prior to final site plan approval.
3. Revise the landscaping schedule to have the percentage of total proposed landscaping be at least 70% native to Frederick County.
4. Revise the building restriction line to be consistent with revised Combined Preliminary/Final plat for LTC – North Commercial A/P PL264033.
5. Minor architectural revisions (pending future user for the Site) will be reviewed and approved by Staff.

Costco Depot Trailer Storage Expansion

Site Plan

The Applicant is requesting Site plan approval to develop a
266 space trailer storage area on a 14.17-acre site



Costco Trailer Parking
SP275028
FcPc
06/14/2023

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Aerial Photography, 2020
Date: 05/25/2023
Prepared by: Frederick County
Community Development Division



1:8,000 0 400 800 Feet

Costco Trailer Parking
SP275028
FcPc
06/14/2023

Zoning

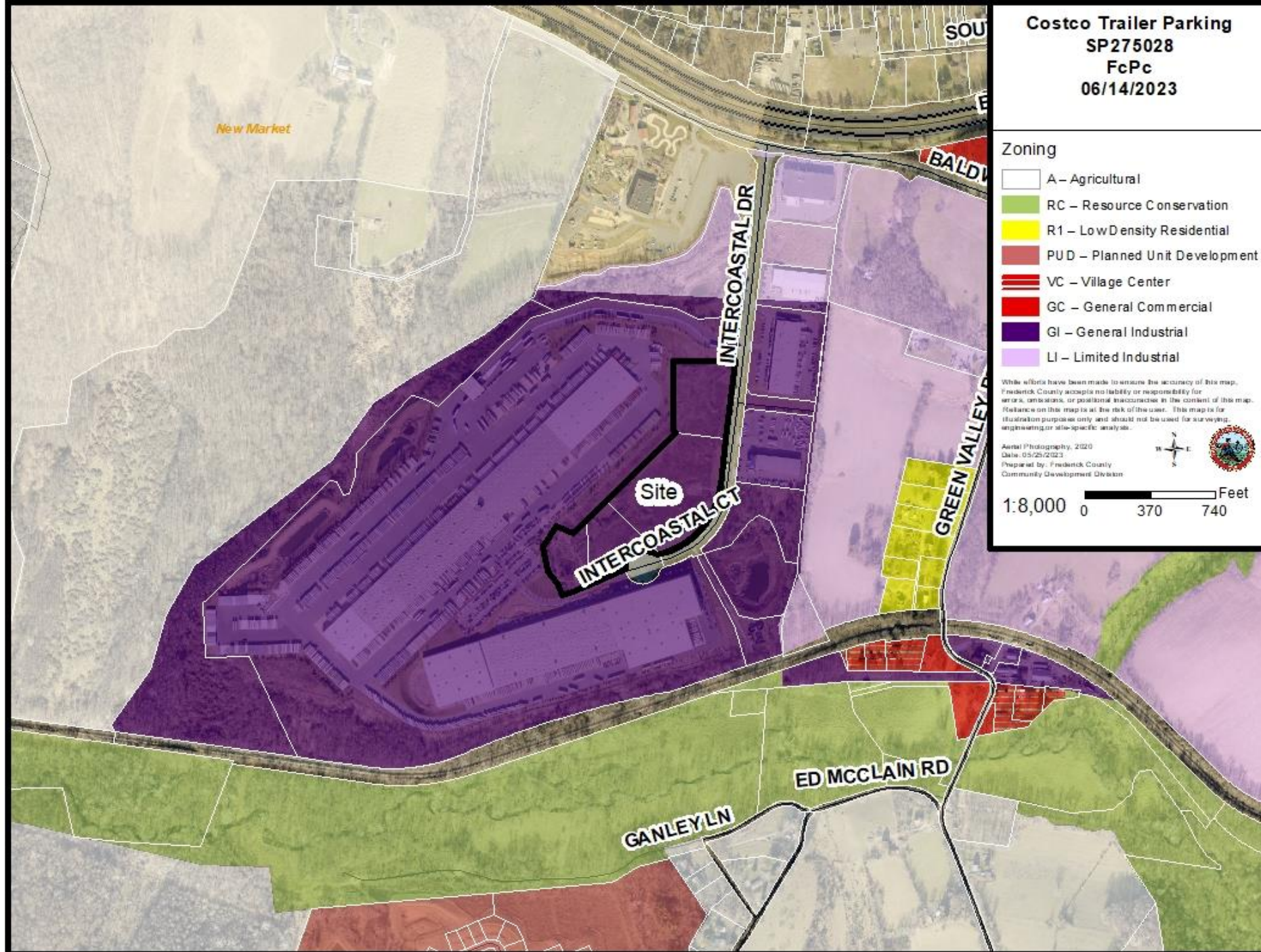
- A – Agricultural
- RC – Resource Conservation
- R1 – Low Density Residential
- PUD – Planned Unit Development
- VC – Village Center
- GC – General Commercial
- GI – General Industrial
- LI – Limited Industrial

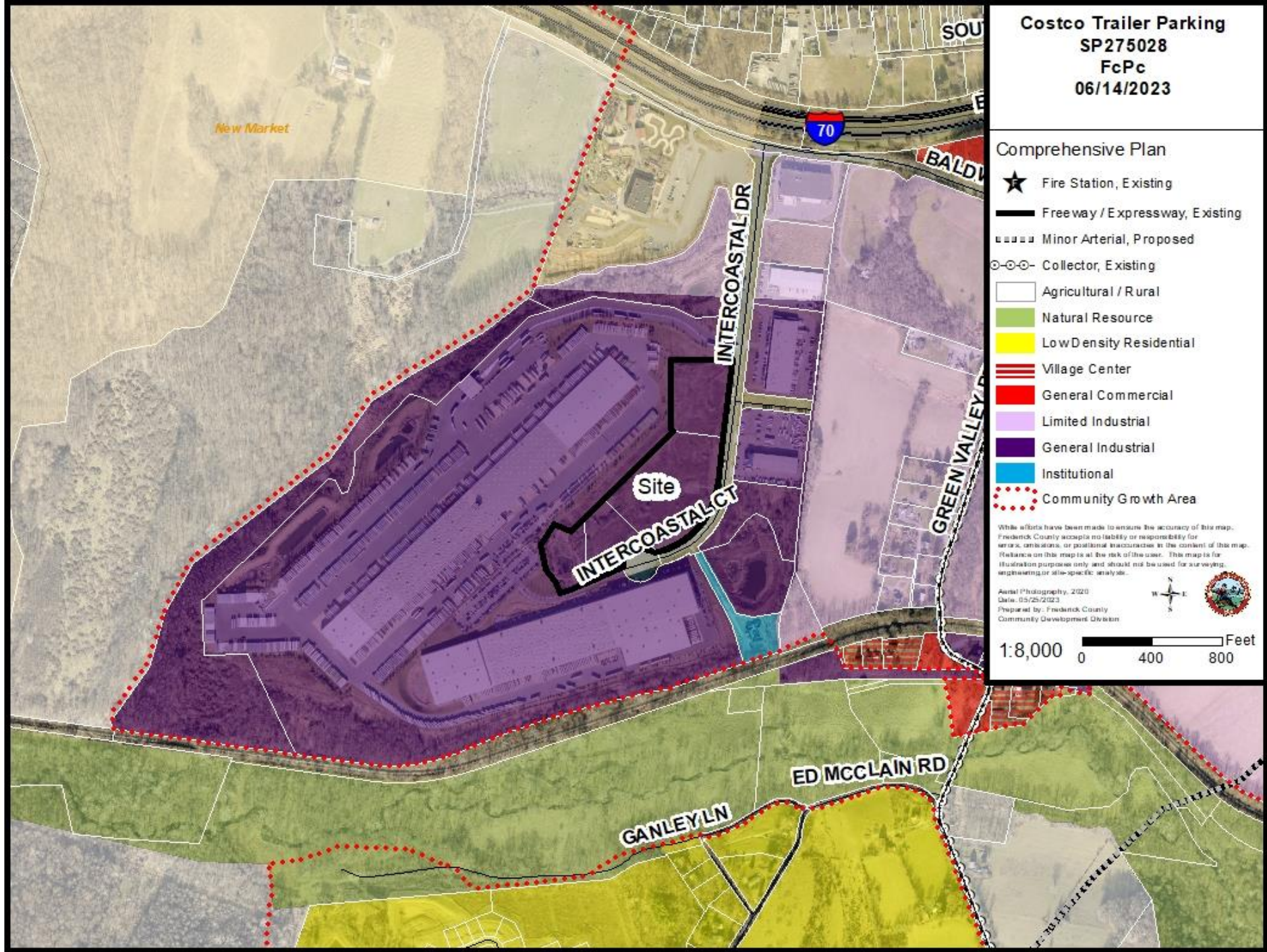
While efforts have been made to ensure the accuracy of this map, Frederick County accepts no liability or responsibility for errors, omissions, or positional inaccuracies in the content of this map. Reliance on this map is at the risk of the user. This map is for illustration purposes only and should not be used for surveying, engineering or site-specific analysis.

Aerial Photography, 2020
Date: 05/25/2023
Prepared by: Frederick County
Community Development Division



1:8,000 0740 Feet







RECOMMENDATION

Staff has no objection to conditional approval of this Site Development Plan. If the Planning Commission conditionally approves the Site Development Plan, the plan is valid for a period of three (3) years from the date of Planning Commission approval (valid through June 14, 2026).

Based upon the findings, conclusions, and modifications as presented in the staff report, Staff finds that the application meets or will meet all applicable Zoning, APFO, and FRO requirements once the following modifications are granted and conditions met:

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion. This includes removing the references to the City of Monrovia and removing the Construction Details and ESD sheets from the site plan set.
2. Add the required building restriction lines to sheets 6, 7, and 8 of the site plan.

New Market Retail

Preliminary Plat

The Applicant is requesting Preliminary Plan approval to subdivide 1 lot into 4 lots on 9.526-acres located on Old National Pike outside the Town of New Market.

New Market Retail

PP274963

FcPc

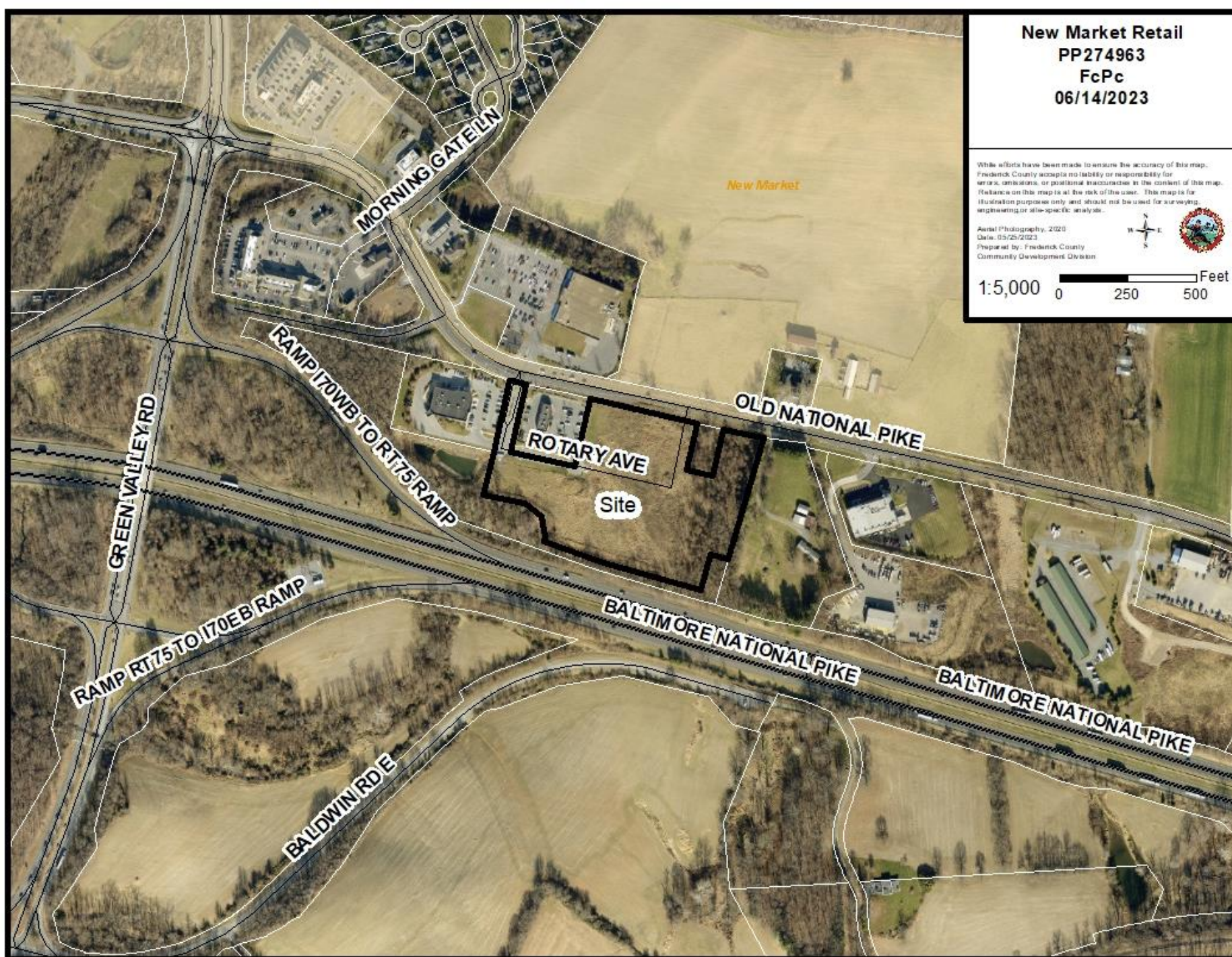
06/14/2023

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Aerial Photography, 2020
Date: 05/25/2023
Prepared by: Frederick County
Community Development Division




1:5,000 0 250 500 Feet



**New Market Retail
PP274963
FcPc
06/14/2023**

Zoning

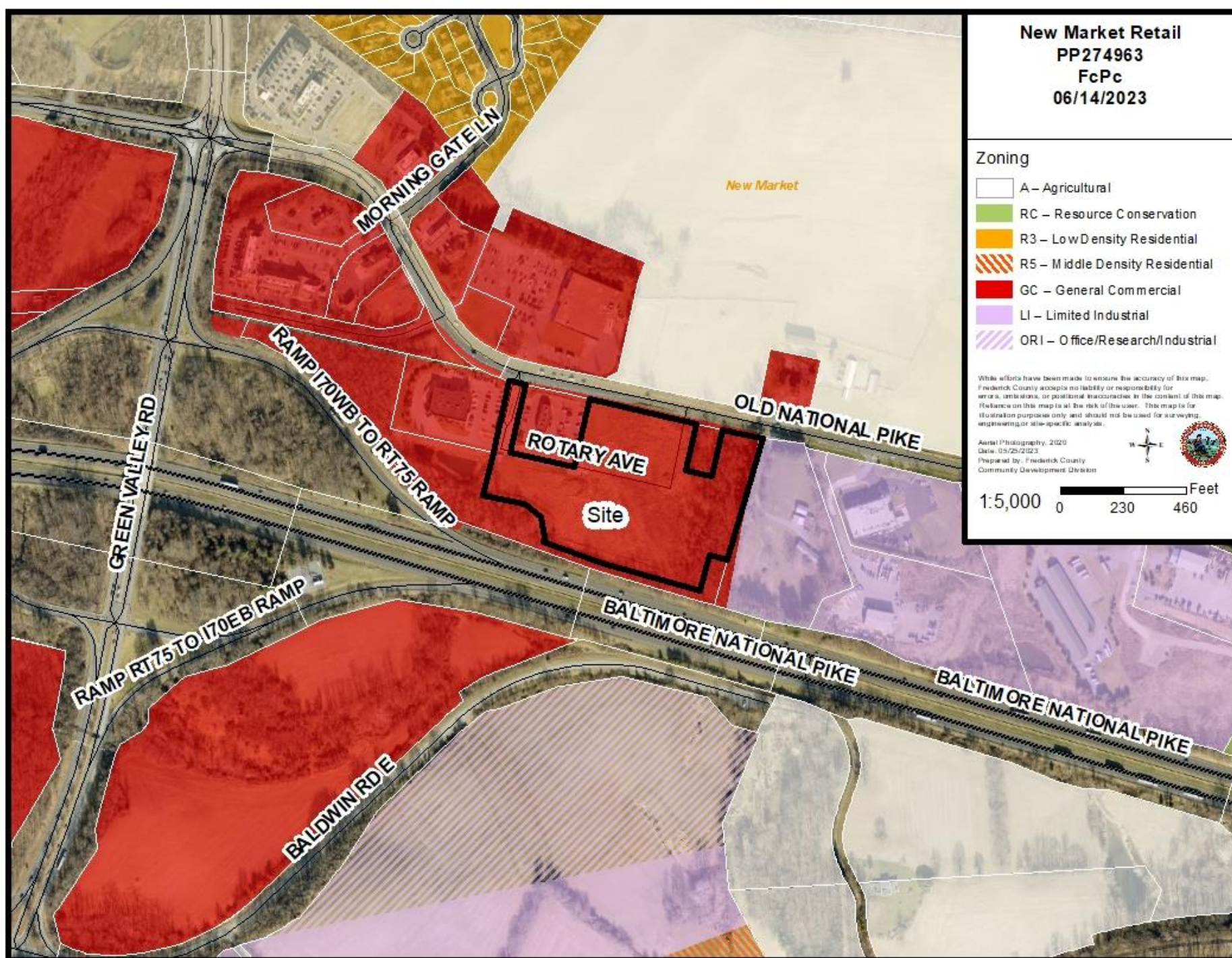
-  A – Agricultural
-  RC – Resource Conservation
-  R3 – Low Density Residential
-  R5 – Middle Density Residential
-  GC – General Commercial
-  LI – Limited Industrial
-  OR1 – Office/Research/Industrial

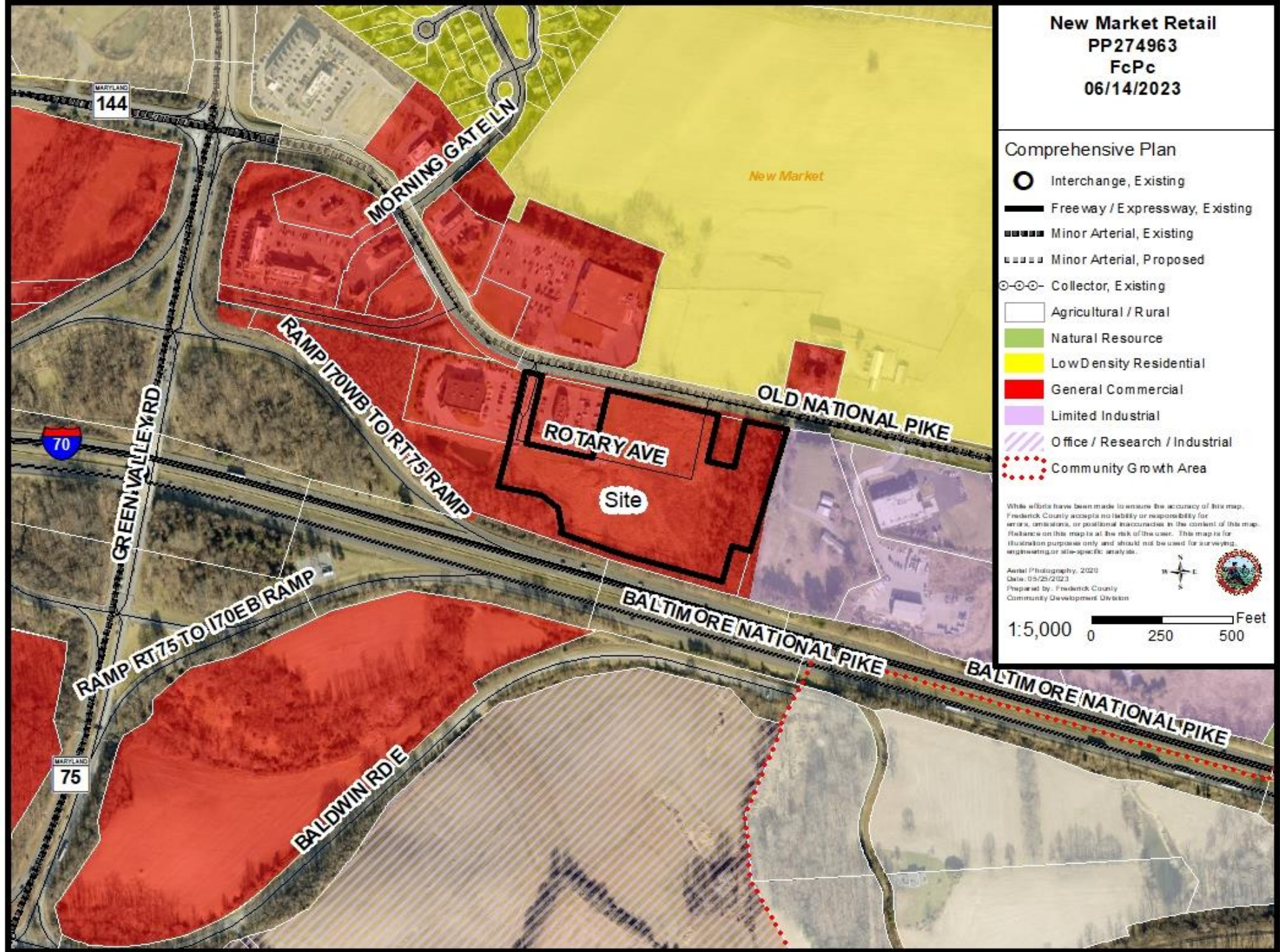
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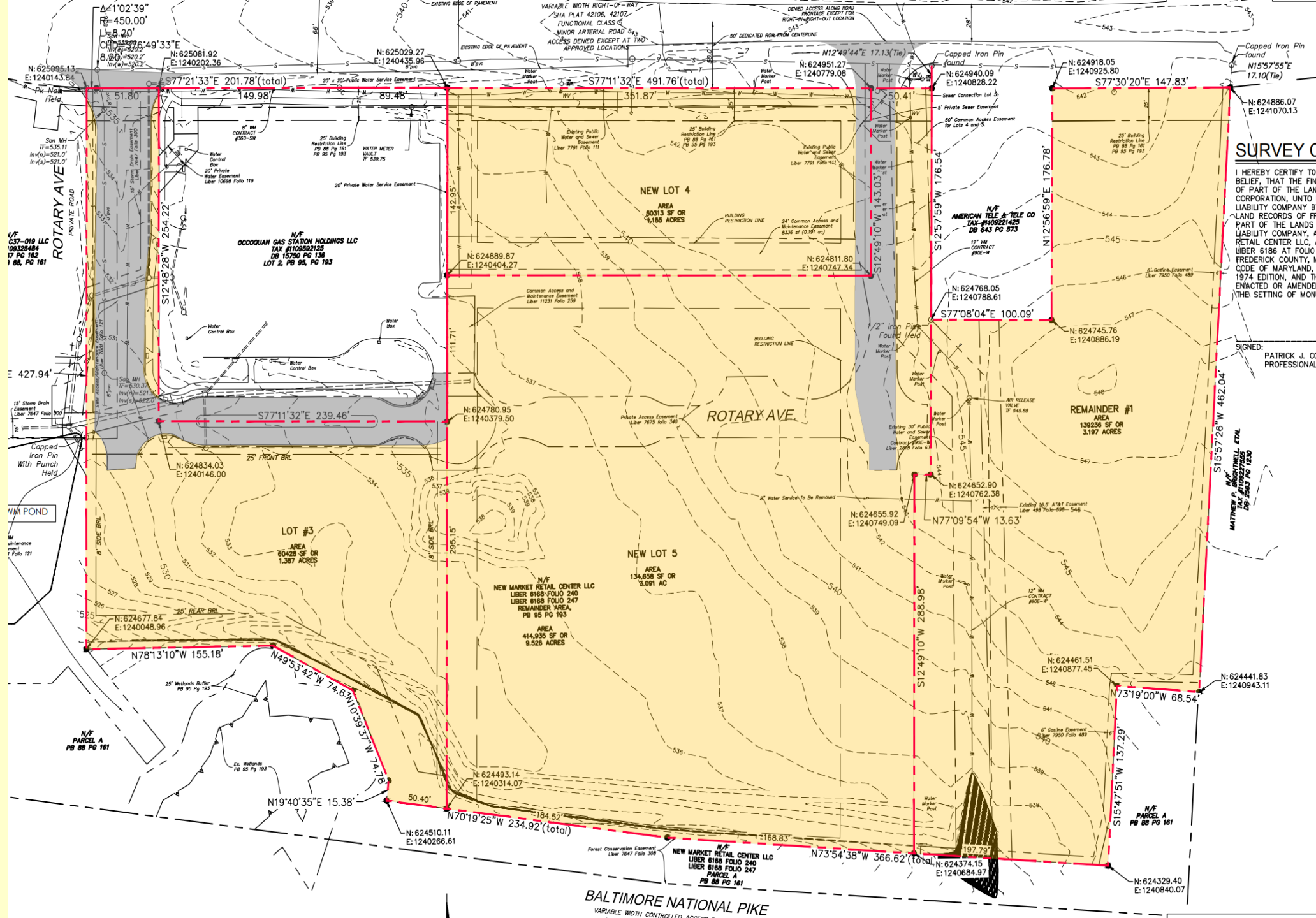
Aerial Photography, 2020
Date: 05/25/2023
Prepared by: Frederick County
Community Development Division



1:5,000 0 230 460 Feet







SURVEY C

I HEREBY CERTIFY TO BELIEF, THAT THE FIN, OF PART OF THE LAND, CORPORATION, UNTO A LIABILITY COMPANY BY LAND RECORDS OF FR PART OF THE LANDS, LIABILITY COMPANY, A RETAIL CENTER LLC, A LIBER 6186 AT FOLIO FREDERICK COUNTY, M CODE OF MARYLAND, I 1974 EDITION, AND TH ENACTED OR AMENDE THE SETTING OF MON

SIGNED: PATRICK J. CO PROFESSIONAL

MATTHEW P. NICHOLS, ETAL
TAX #100227263
DB 2563 PG 1230

BALTIMORE NATIONAL PIKE
VARIABLE WIDTH CONTROL

RECOMMENDATION

Staff has no objection to conditional approval of this Preliminary Subdivision Plan. If the Planning Commission conditionally approves the Preliminary Subdivision Plan, the plan is valid for a period of five (5) years from the date of Planning Commission approval (valid through June 14, 2028). The APFO will also expire on June 14, 2028.

Based upon the findings, conclusions, and modifications as presented in the staff report, Staff finds that the application meets or will meet all applicable Subdivision, Zoning, APFO, and FRO requirements once the following modification and conditions are met:

Modifications:

1. 1-16-219(C)(2) Subdivision modification to allow two panhandle lots in this subdivision.

Staff-proposed conditions of approval:

1. Address all agency comments as the plan proceeds through to completion.
2. Add all the BRL's to each of the proposed lots.